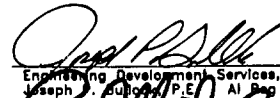


Apr 21 PM 12



Engineering • Planning • Surveying • Construction Management

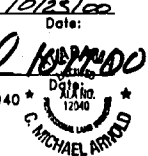
23210 U.S. Highway 98 • Suite B-1 • Fairhope, Alabama 36532
P.O.Box 1151 • Fairhope, Alabama 36533
(334) 990-3373 • Fax (334) 990-3134
engds@bellsouth.net



Engineering Development Services, L.L.C.
Joseph J. Bullock, P.E. Al. Reg. No. 19622

C. Michael Arnold

Engineering Development Services, L.L.C.
C. Michael Arnold P.L.S. Al. License No. 1



State of Alabama, Baldwin County
I certify this instrument was filed
and taxes collected on:

2000 October -27 1:45PM

Instrument Number	55100	SLIDE	Pages	60
Recording Fee	650.00	Hearings		
Cost		Rin Tan		
Index		SP		1.00
Archive	2.00			

Adrian T. Johns, Judge of Probate

THE COMMONS, A CONDOMINIUM MAGNOLIA SPRINGS, AL

[illegible]

1. THE UNDERSIGNED JOSEPH P. BULLOCK, A REGISTERED ENGINEER IN THE STATE OF ALABAMA REGISTRATION NUMBER 10312, HEREBY CERTIFY, PURSUANT TO THE 1985 ALABAMA UNIFORM CONDOMINIUM ACT SECTION 35-8A-20, THAT THE DRAWINGS CONSISTING OF PAGES 1 THROUGH 8 (ATTACHED HERETO AND MADE A PART OF THE DECLARATION OF CONDOMINIUM OF THE COMMONS) CONTAIN ALL THE REQUIRED RECORDING INFORMATION. I FURTHER CERTIFY THAT SAID PAGES FULLY AND ACCURATELY DETAIL THE LAYOUT, LOCATIONS, UNIT NUMBERS AND DIMENSIONS IN SUFFICIENT DETAIL TO IDENTIFY THE COMMON ELEMENTS COMPRISING SUCH UNITS OF THE COMMONS, AS BUILT.

I FURTHER CERTIFY THAT THE IMPROVEMENTS LISTED HEREON, AND AS PARTIALLY SHOWN ON THE ATTACHED DRAWINGS, HAVE BEEN CONSTRUCTED AND ARE SUBSTANTIALLY COMPLETE.

Joseph P. Sullivan 10/15/50

JOSEPH P. SULLIVAN, JR. A. REG. NO. 18813 DAY

UNIT C-1
NORTH - 75' BUILDING SETBACK LINE
(125' FROM THE CENTERLINE OF
HWY. 98)
SOUTH - 10' BUILDING SETBACK LINE
EAST - 10' BUILDING SETBACK LINE
WEST - 10' BUILDING SETBACK LINE

UNIT D-1 & D-2
FRONT - 10' BUILDING SETBACK LINE
REAR - 10' BUILDING SETBACK LINE
SIDE - 10' BUILDING SETBACK LINE

UNIT 1-15, 16-28 & 28-46
FRONT - 10' BUILD-TO LINE
REAR - 10' BUILDING SETBACK LINE
SIDE - 5' BUILDING SETBACK LINE

UNIT 12, 14, 48 & 48
FRONT - 10' BUILD-TO LINE
REAR - 10' BUILDING SETBACK LINE
SIDE - 5' BUILDING SETBACK LINE

UNIT 27
FRONT - 10' BUILD-TO LINE
REAR - BUILDING SETBACK LINE 10'
NORTH OF THE EDGE OF WATER

UNIT 28-33
FRONT - 10' BUILD-TO LINE
REAR - NORTH SIDEWALK SETBACK
COMMON AREA #3
SIDE - 5' BUILDING SETBACK LINE

UNIT 34
FRONT - 10' BUILD-TO LINE
REAR - BUILDING SETBACK LINE 40'
SOUTH OF THE WOODEN
RETAINING WALL
SIDE - 5' BUILDING SETBACK LINE

THERE SHALL BE A 10' DRAINAGE EASEMENT ALONG THE FRONT AND REAR OF ALL UNITS.

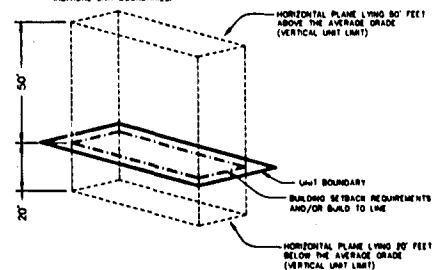
PLEASE SEE THE CONDOMINIUM DOCUMENTATION FOR ADDITIONAL EASEMENTS.

THERE SHALL BE A 10' PEDESTRIAN EASEMENT ALONG THE FRONT OF ALL UNITS.
PLEASE SEE THE CONDOMINIUM DOCUMENTATION FOR ADDITIONAL EASEMENTS.

THIS PROPERTY LIES WITHIN ZONE "A4 (II 1)", "A11 (II 10)", "II", AND "C" AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF COMMUNITY NUMBER 01300, PANEL NUMBER 0940. SUFFIX G, MAP RE-ISED JANUARY 3, 1985

NOTE: THE BALDWIN COUNTY SURVEYING OFFICIALS REQUIRE AN ADDITIONAL ELEVATION "FREEBOARD" AS STATED BY BALDWIN COUNTY COMMISSIONER BERNARD L. STONE, JR.

EACH UNIT SHALL HAVE A BUILDING LIMIT OF HORIZONTAL PLACES WHICH ARE 30 FEET ABOVE THE AVERAGE GRADE OF THE UNIT AND 20 FEET BELOW THE AVERAGE GRADE OF THE UNIT. SEE VERTICAL UNIT BOUNDARIES CHART BELOW FOR INDIVIDUAL UNIT BOUNDARIES.



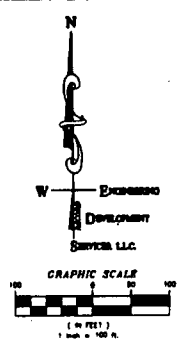
SHEET NO.	DESCRIPTION
1	TITLE SHEET / NOTES
2	BOUNDARY SURVEY
3	DETAIL OF NORTH HALF OF PARCEL
4	DETAIL OF SOUTH HALF OF PARCEL
5	COMMON AREAS/UNIT BOUNDARIES

ENGINEERING DEVELOPMENT SERVICES, LLC.
Engineering • Planning • Surveying • Construction Management
23210 U.S. Highway 98 • Suite B-1 • Fairhope, Alabama 36532
P.O. Box 1181 • Fairhope, Alabama 36533
(334) 990-3373 • Fax (334) 990-3194
enr@edslife.com

DATE: 09/25/00
DRAWN BY: JMA
CHECKED BY: CMA
COLLECTOR: GRANT SECTION 38, T 2 S,
R 3 E, BALDWIN COUNTY, ALABAMA
PROJECT# 990313
DWG. # EX COND (DWG)
SHEET NO 1 OF 1

Apr. 21/13

PROPERTY IS LOCATED IN THE COLLINS GRANT SECTION 38, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.



POINT OF COMMENCEMENT
THE POINT OF INTERSECTION OF THE WEST BOUNDARY OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 3 EAST, ST. STEPHEN'S MERIDIAN WITH THE SOUTH MARGIN OF U.S. HIGHWAY 98, AS SHOWN ON A PLAT BY J. B. ALLEN, SURVEYOR, DATED JANUARY 30, 1998 AND RECORDED IN MAP BOOK 238 AT PAGE 43, PROBATE RECORDS, BALDWIN COUNTY, ALABAMA.

POINT OF BEGINNING

U.S. HIGHWAY 98 100' REC R/W

SURVEYOR'S CERTIFICATE:

STATE OF ALABAMA
COUNTY OF BALDWIN

WE, ENGINEERING DEVELOPMENT SERVICES, LLC, A FIRM OF LICENSED ENGINEERS AND LAND SURVEYORS OF FARMHOPE, ALABAMA, HEREBY STATE THAT THE ABOVE IS A CORRECT MAP OR PLAT OF THE FOLLOWING DESCRIBED PROPERTY SITUATED IN BALDWIN COUNTY, ALABAMA, TO-WIT:

COMMENCING WHERE THE SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98 INTERSECTS THE WEST BOUNDARY LINE OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA, RUN S89°48'05"E ALONG SAID SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98 A DISTANCE OF 838.8 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S89°48'05"E ALONG SAID SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98 A DISTANCE OF 180.84 FEET TO A POINT; THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY 98, RUN SOUTH A DISTANCE OF 3017.11 FEET TO AN OPEN END PILE (POINT A); THENCE CONTINUE SOUTH 28 FEET, MORE OR LESS, TO THE NORTH MARGIN OF MAGNOLIA RIVER; THENCE RUN IN A NORTHWESTERLY DIRECTION ALONG THE MEANDERING OF THE NORTH MARGIN OF MAGNOLIA RIVER A DISTANCE OF 1440 FEET, MORE OR LESS, TO A POINT; THENCE LEAVING SAID NORTH MARGIN OF MAGNOLIA RIVER, RUN N89°10'13"E A DISTANCE OF 12 FEET, MORE OR LESS, TO A POINT; SAID POINT BEING N51°23'22"W A DISTANCE OF 897.18 FEET FROM SAID POINT A; THENCE CONTINUE N89°10'13"E A DISTANCE OF 318.10 FEET TO A POINT; THENCE RUN N00°24'35"W A DISTANCE OF 334.31 FEET TO A POINT; THENCE RUN S89°35'25"W A DISTANCE OF 7.00 FEET TO A POINT; THENCE RUN N00°24'35"W A DISTANCE OF 12.00 FEET TO A POINT; THENCE RUN S89°12'18"W A DISTANCE OF 28.24 FEET TO A POINT; THENCE RUN N00°53'02"E A DISTANCE OF 35.00 FEET TO A POINT; THENCE RUN S89°12'18"W A DISTANCE OF 30.00 FEET TO A POINT; THENCE RUN N02°54'32"W A DISTANCE OF 883.12 FEET TO A POINT; THENCE RUN N52°12'48"E A DISTANCE OF 213.27 FEET TO A POINT; THENCE RUN N00°51'28"E A DISTANCE OF 230.53 FEET TO A POINT; THENCE RUN N03°32'42"W A DISTANCE OF 500.23 FEET TO A POINT; THENCE RUN N11°22'00"E A DISTANCE OF 103.90 FEET TO A POINT; THENCE RUN S89°50'20"E A DISTANCE OF 80.38 FEET TO A POINT; THENCE RUN N01°45'58"E A DISTANCE OF 350.00 FEET TO THE POINT OF BEGINNING, CONTAINING 27.24 ACRES, MORE OR LESS.

LESS AND EXEMPTING THEREFROM ALL OIL, GAS, AND OTHER MINERALS LYING IN, ON OR UNDER SAID PROPERTY AND SUBJECT TO ALL RIGHTS PERTAINING THERETO, HERETOFORE RESERVED BY OR CONVEYED OR LEASED TO OTHERS.

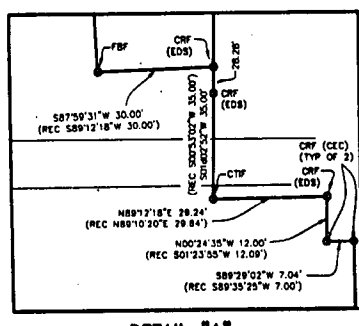
WE FURTHER STATE THAT THE IMPROVEMENTS PRESENTLY SITUATED ON SAID PROPERTY ARE LOCATED WITHIN THE BOUNDARIES THEREOF, THAT THERE ARE NO ENCROACHMENTS ON SAID PROPERTY BY BUILDING OR FENCES SITUATED ON ADJOINING PROPERTY; AND THAT THERE ARE NO RIGHTS-OF-WAY, EASEMENTS, NON JOINT DRIVEWAYS, OVER OR ACROSS SAID PROPERTY, VISIBLE ON THE SURFACE, EXCEPT AS HEREON NOTED.

I further state this survey has been completed in accordance with the requirements of the minimum technical standards for the practice of land surveying in the State Of Alabama.

ENGINEERING DEVELOPMENT SERVICES, LLC
C. Michael Arnold AL P.L.S. No. 12940

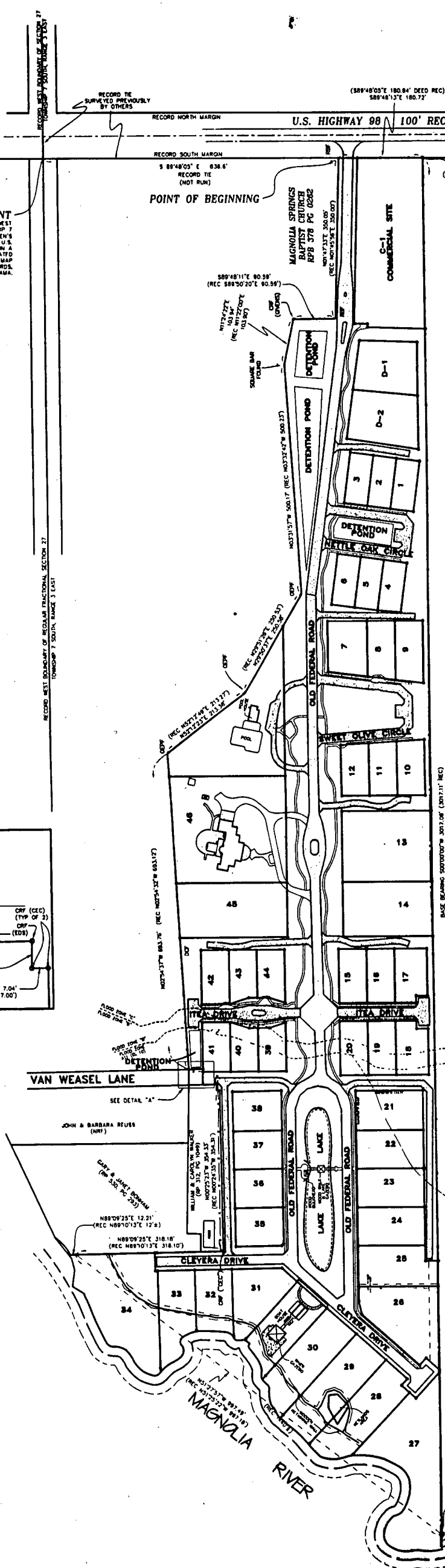
SURVEYOR'S NOTE:

ALL CONTEMPORARY IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING BUT NOT LIMITED TO: ROADS, ALLEYS, BRICK WALLS, GATE ENTRY SYSTEMS, DRAINAGE SYSTEMS, POOL, POOL HOUSE, SIDEWALKS, LAKE, GAZED, BOAT HOUSE, RIVER GAZED, RETAINING WALLS, PORTABLE WATER SYSTEM, SEWER SYSTEM, GAS SYSTEM, CABLE TV SYSTEM, AND TELEPHONE SYSTEM.



- LEGEND:**
- CEC = CONSTRUCTION ENGINEERS CONSULTANT, L.L.C.
 - DEP = OPEN END PILE FOUND
 - CRF = CAPPED REBAR FOUND
 - CTP = CAPPED TOP IRON FOUND
 - FBP = FLAT BAR FOUND
 - RSF = REBAR FOUND
 - REC = RECORD
 - CAL = CALCULATED
 - R/W = RIGHT-OF-WAY
 - OCF = OCEAN CLAM FOUND
 - NRF = NO REFERENCE FOUND
 - RPS = REAL PROPERTY BOOK
 - PG = PAGE
 - RSS = RAILROAD SPUR
 - OR = OPEN R/W
 - UB = UPRIGHT BOUND
 - RCP = REINFORCED CONCRETE PIPE
 - CP = CORRUGATED PLASTIC PIPE
 - CRP = CAPPED IRON PILE PLACED (LOS CAG0886LS)

- CONCRETE BRICK PAVED ROAD WITH 1 FOOT RIBBON CURB
- CONCRETE
- CRUSHED STONE ROAD WITH 1 FOOT RIBBON CURB
- ASPHALT



BOUNDARY SURVEY		DATE: 04/15/00
THE COMMONS		SCALE: 1" = 100'
Engineering Development Services, LLC		DRAWN BY: BPA
Surveyors: J. B. Allen, C. Michael Arnold		CHECKED BY: CMA
Map Book: 238 Page: 43		PLAT SHOWS BALDWIN COUNTY, ALABAMA
Map Book: 238 Page: 43		RECORD NO.
Map Book: 238 Page: 43		RECORD NO.

PROPERTY IS LOCATED IN THE COLONY GRANT SECTION 36, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.

Apr 04 1984

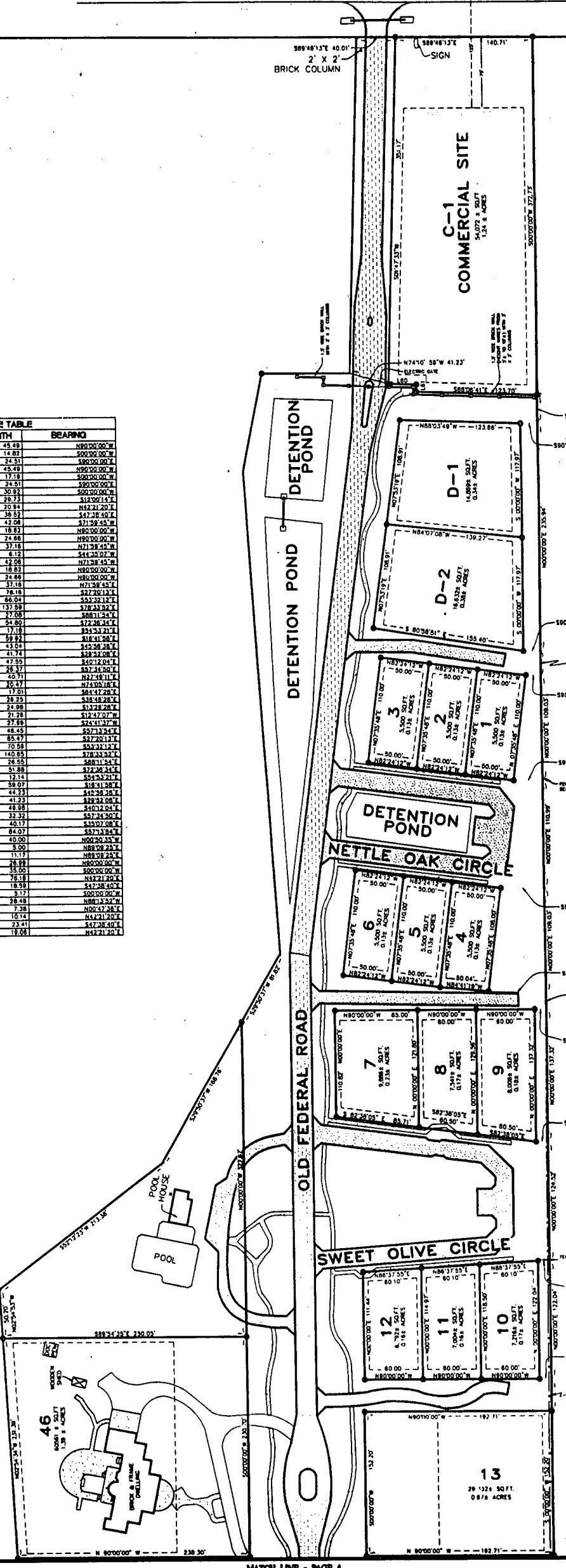


SURVEYOR'S NOTE:
ALL CONTEMPLATED IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING BUT NOT LIMITED TO: ROADWAYS, ALLEYS, BRICK WALLS, GATE ENTRY SYSTEMS, DRAINAGE SYSTEMS, POOL, POOL HOUSE, SIDEWALKS, LAKE, GAZEBO, BOAT HOUSE, RIVER GAZEBO, RETAINING WALLS, POTABLE WATER SYSTEM, SEWER SYSTEM, GAS SYSTEM, CABLE TV SYSTEM, AND TELEPHONE SYSTEM.

LINE TABLE		
LINE	LENGTH	BEARING
L1	45.48	N80°00'00"W
L2	14.82	S00°00'00"E
L3	24.51	S00°00'00"E
L4	45.48	N80°00'00"W
L5	17.18	S00°00'00"E
L6	24.51	S00°00'00"E
L7	30.81	S00°00'00"W
L8	26.73	S12°00'14"E
L9	20.84	N42°21'20"E
L10	38.53	S47°38'40"E
L11	41.08	S71°38'45"W
L12	18.83	N80°00'00"W
L13	24.86	N80°00'00"W
L14	37.18	N71°38'45"W
L15	6.15	S44°33'07"W
L16	42.08	N71°38'45"W
L17	18.83	N80°00'00"W
L18	24.86	N80°00'00"W
L19	37.18	N71°38'45"W
L20	78.18	S42°20'13"E
L21	66.04	S53°32'12"E
L22	137.88	S78°33'34"E
L23	27.08	S08°11'44"E
L24	54.80	S72°38'14"E
L25	37.18	S44°33'07"E
L26	59.81	S18°41'58"E
L27	43.04	S45°36'38"E
L28	41.74	S28°52'09"E
L29	47.55	S10°12'04"E
L30	28.37	S57°34'50"E
L31	40.91	N27°48'11"E
L32	70.37	S74°08'18"E
L33	17.01	S44°42'20"E
L34	28.23	S38°48'28"E
L35	24.98	S13°22'28"E
L36	21.28	S12°47'27"E
L37	27.89	S24°41'37"E
L38	48.45	S57°33'24"E
L39	85.47	S27°20'13"E
L40	70.58	S51°32'12"E
L41	140.85	S78°33'34"E
L42	28.55	S88°11'24"E
L43	51.88	S72°38'14"E
L44	12.14	S54°53'21"E
L45	39.07	S18°41'58"E
L46	44.23	S15°38'25"E
L47	41.23	S28°52'09"E
L48	48.38	S40°12'04"E
L49	32.32	S57°34'50"E
L50	40.17	S10°12'04"E
L51	84.07	S57°33'24"E
L52	40.00	N00°00'00"W
L53	5.00	N88°08'25"E
L54	11.17	N88°39'25"E
L55	28.88	N80°00'00"W
L56	55.00	S00°00'00"W
L57	76.18	N42°21'20"E
L58	18.59	S47°38'40"E
L59	5.17	S00°00'00"W
L60	28.48	N88°32'52"W
L61	17.38	N00°47'38"E
L62	10.14	N44°21'20"E
L63	23.41	S47°38'40"E
L64	19.08	N42°21'20"E

- LEGEND:**
- CEC - CONSTRUCTION ENGINEERS CONSULTANT, L.L.C.
 - OSF - OPEN END PIPE FOUND
 - CRF - CAPPED REBAR FOUND
 - CTF - CORNER TOP IRON FOUND
 - RFB - FLAT BAR FOUND
 - RSF - REBAR FOUND
 - REC - RECORD
 - CAL - CALCULATED
 - R/W - RIGHT-OF-WAY
 - DCR - DIGGER CHAIN FOUND
 - HRF - NO REFERENCE FOUND
 - RFB - REAL PROPERTY BOOK
 - PG - PAGE
 - RFB - RAILROAD SPW
 - OB - OLD BOOK
 - HB - HAP BOOK
 - RCF - REINFORCED CONCRETE PIPE
 - CPW - CORRUGATED PLASTIC PIPE
 - O - CAPPED IRON PIN PLACED (SEE CROSSING)

- CONCRETE BRICK PAVED ROAD WITH 1 FOOT RIBBON CURB
- CONCRETE
- CRUSHED STONE ROAD WITH 1 FOOT RIBBON CURB
- ASPHALT

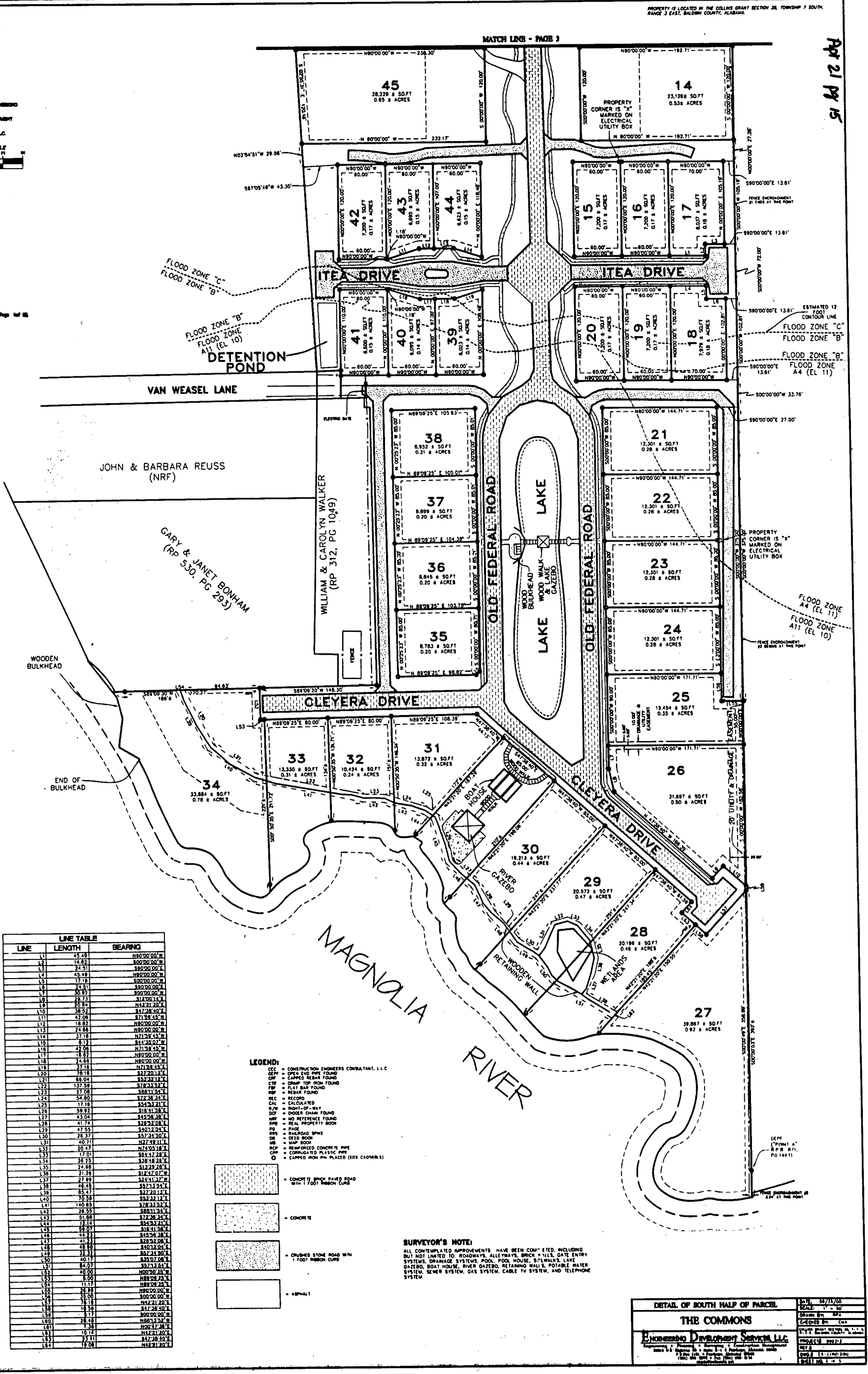


MATCH LINE - PAGE 4

DETAIL OF NORTH HALF OF PARCEL	
THE COMMONS	
ENGINEERING DEVELOPMENT SERVICE, L.L.C.	
DATE: 05/15/88	SCALE: 1" = 50'
DRAWN BY: SP4	CHECKED BY: CWA
PROJECT NO: 11-1	PROJECT: 00011
NO: 4	NO: 4
NO: 11-1	NO: 11-1
NO: 11-1	NO: 11-1



Indicated 1/2" = 100' PG 10



LINE	LENGTH	BEARING
1	45.48	N80°00'00\"
2	14.82	S00°00'00\"
3	24.51	S90°00'00\"
4	43.48	N00°00'00\"
5	17.18	S00°00'00\"
6	24.51	S90°00'00\"
7	35.83	S14°00'14\"
8	28.21	N42°21'20\"
9	35.84	S47°38'40\"
10	35.87	S71°58'45\"
11	47.08	N80°00'00\"
12	18.83	N80°00'00\"
13	24.88	N80°00'00\"
14	37.18	N71°58'45\"
15	8.12	S44°30'07\"
16	42.06	N71°58'45\"
17	18.83	N80°00'00\"
18	34.48	N80°00'00\"
19	37.18	N71°58'45\"
20	78.18	S27°20'13\"
21	65.04	S52°23'12\"
22	137.59	S28°33'52\"
23	27.08	S68°11'24\"
24	54.80	S22°36'34\"
25	17.18	S44°30'07\"
26	59.82	S18°41'58\"
27	43.04	S52°23'12\"
28	41.74	S28°33'52\"
29	47.55	S52°12'24\"
30	26.37	S57°34'50\"
31	40.71	N27°48'11\"
32	20.72	N74°02'18\"
33	17.01	S44°30'07\"
34	28.75	S38°18'28\"
35	24.98	S12°28'20\"
36	27.99	S12°42'07\"
37	27.99	S12°42'07\"
38	46.48	S57°12'04\"
39	85.47	S27°20'13\"
40	75.58	S52°12'24\"
41	140.85	S78°33'52\"
42	28.55	S84°11'24\"
43	51.88	S72°36'34\"
44	18.14	S44°30'07\"
45	59.07	S18°41'58\"
46	44.33	S52°23'12\"
47	41.21	S28°33'52\"
48	48.88	S52°12'24\"
49	31.37	S27°20'13\"
50	40.17	S27°20'13\"
51	84.07	S57°12'04\"
52	40.00	N00°00'00\"
53	8.00	N80°00'00\"
54	11.17	N80°00'00\"
55	24.88	N80°00'00\"
56	35.06	N00°00'00\"
57	14.14	N42°21'20\"
58	18.99	S17°38'40\"
59	9.17	S00°00'00\"
60	28.48	N85°13'52\"
61	7.38	N00°00'00\"
62	10.14	N42°21'20\"
63	73.41	S17°38'40\"
64	18.08	N42°21'20\"

- LEGEND:
- CONSTRUCTION ENGINEERS CONSULTANT, L.L.C.
 - OPEN END PIPE FOUND
 - CAPPED REBAR FOUND
 - CHUMP TOP IRON FOUND
 - FLAT BAR FOUND
 - REBAR FOUND
 - RECORD
 - CALCULATED
 - RIGHT-OF-WAY
 - DITCH FOUND
 - NO REFERENCE FOUND
 - REAL PROPERTY BOOK
 - PAVE
 - RAILROAD SPIKE
 - DRILL BOOP
 - MAP BOOK
 - REINFORCED CONCRETE PIPE
 - CORRUGATED PLASTIC PIPE
 - CAPPED IRON PIN PLACED (EDS CHAINING)



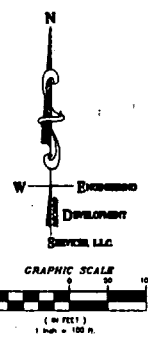
SURVEYOR'S NOTE:
ALL CONTEMPLATED IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING BUT NOT LIMITED TO: ROADWAYS, ALLEYS, BRICK PAVES, GATE ENTRY SYSTEMS, DRAINAGE SYSTEMS, POOL, POOL HOUSE, BILWALKS, LAKE GAZERO, BOAT HOUSE, RIVER GAZERO, RETAINING WALL, POTABLE WATER SYSTEM, SEWER SYSTEM, GAS SYSTEM, CABLE TV SYSTEM, AND TELEPHONE SYSTEM.

DETAIL OF SOUTH HALF OF PARCEL	
THE COMMONS	
ENGINEERING DEVELOPMENT SERVICES, L.L.C.	
1000 N. 10th St., Suite 100, Birmingham, AL 35203	
(205) 988-1111	
DATE: 08/15/00	BY: [Signature]
SCALE: 1" = 50'	
Drawn By: [Signature]	
Checked By: [Signature]	
Project: [Signature]	
Sheet: 1 of 1	

2466

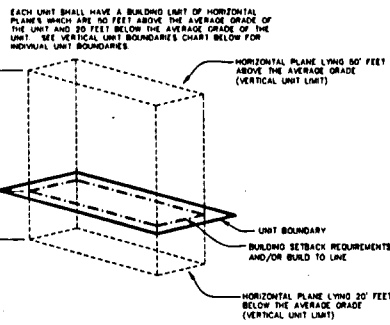
Apr. 21 19 16

PROPERTY IS LOCATED IN THE COLLINS GRANT SECTION 38, TOWNSHIP 7 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.



U.S. HIGHWAY 98 - 100' REC R/W

HEIGHT REQUIREMENTS:



Instrument: 20000 Page: 04 of 05

SURVEYOR'S NOTE:

ALL CONTEMPLATED IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING BUT NOT LIMITED TO: ROADS, ALLEYS, BRICK WALLS, GATE ENTRY SYSTEMS, DRAINAGE SYSTEMS, POOL, POOL HOUSE, SIDEWALKS, LAKE, GAZED, BOAT HOUSE, RIVER GAZED, RETAINING WALLS, POTABLE WATER SYSTEM, SEWER SYSTEM, GAS SYSTEM, CABLE TV SYSTEM, AND TELEPHONE SYSTEM.

LIMITED COMMON AREA #4

LIMITED COMMON AREA #1

SWEET OLIVE CIRCLE

LIMITED COMMON AREA #1

DETENTION POND

VAN WEASEL LANE

CLAYTON DRIVE

LIMITED COMMON AREA #3

MAGNOLIA RIVER

LEGEND:

- COMMON AREA
- LIMITED COMMON AREA #1
- LIMITED COMMON AREA #2
- LIMITED COMMON AREA #3
- LIMITED COMMON AREA #4

NOTE: LIMITED COMMON AREA #3 EXTENDS THROUGH BUILDING SETBACK AREA.

VERTICAL UNIT BOUNDARIES

THE UPPER UNIT BOUNDARY OF EACH UNIT IS SITUATED 50 FEET ABOVE THE AVERAGE UNIT ELEVATION. THE LOWER UNIT BOUNDARY OF EACH UNIT IS SITUATED 20 FEET BELOW THE AVERAGE UNIT ELEVATION.

THE AVERAGE UNIT ELEVATION FOR UNITS C-1, D-1, D-2, UNITS 1-28 AND 35-44, WAS ESTABLISHED BY AVERAGING THE ELEVATION OF THE FOUR UNIT CORNERS.

THE AVERAGE ELEVATION OF LOTS 27-33 WAS ESTABLISHED BY AVERAGING THE ELEVATION OF THE RETENTION WALL WITH THE ELEVATION OF THE TWO NORTH-MOST CORNERS.

- UNIT C-1
UPPER UNIT BOUNDARY: 82.18
LOWER UNIT BOUNDARY: 22.18
- UNIT D-1
UPPER UNIT BOUNDARY: 81.24
LOWER UNIT BOUNDARY: 21.24
- UNIT D-2
UPPER UNIT BOUNDARY: 88.86
LOWER UNIT BOUNDARY: 18.86
- UNIT 1
UPPER UNIT BOUNDARY: 87.08
LOWER UNIT BOUNDARY: 17.08
- UNIT 2
UPPER UNIT BOUNDARY: 87.03
LOWER UNIT BOUNDARY: 17.03
- UNIT 3
UPPER UNIT BOUNDARY: 88.24
LOWER UNIT BOUNDARY: 18.24
- UNIT 4
UPPER UNIT BOUNDARY: 81.58
LOWER UNIT BOUNDARY: 11.58
- UNIT 5
UPPER UNIT BOUNDARY: 81.80
LOWER UNIT BOUNDARY: 11.80
- UNIT 6
UPPER UNIT BOUNDARY: 81.80
LOWER UNIT BOUNDARY: 11.80
- UNIT 7
UPPER UNIT BOUNDARY: 78.05
LOWER UNIT BOUNDARY: 8.05
- UNIT 8
UPPER UNIT BOUNDARY: 78.57
LOWER UNIT BOUNDARY: 8.57
- UNIT 9
UPPER UNIT BOUNDARY: 77.87
LOWER UNIT BOUNDARY: 7.87
- UNIT 10
UPPER UNIT BOUNDARY: 71.58
LOWER UNIT BOUNDARY: 1.58
- UNIT 11
UPPER UNIT BOUNDARY: 72.75
LOWER UNIT BOUNDARY: 2.75
- UNIT 12
UPPER UNIT BOUNDARY: 73.84
LOWER UNIT BOUNDARY: 3.84
- UNIT 13
UPPER UNIT BOUNDARY: 70.79
LOWER UNIT BOUNDARY: 0.79
- UNIT 14
UPPER UNIT BOUNDARY: 88.82
LOWER UNIT BOUNDARY: -1.18
- UNIT 15
UPPER UNIT BOUNDARY: 88.07
LOWER UNIT BOUNDARY: -1.83
- UNIT 16
UPPER UNIT BOUNDARY: 86.82
LOWER UNIT BOUNDARY: -3.38
- UNIT 17
UPPER UNIT BOUNDARY: 84.55
LOWER UNIT BOUNDARY: -5.65
- UNIT 18
UPPER UNIT BOUNDARY: 81.84
LOWER UNIT BOUNDARY: -8.08
- UNIT 19
UPPER UNIT BOUNDARY: 82.79
LOWER UNIT BOUNDARY: -7.21
- UNIT 20
UPPER UNIT BOUNDARY: 83.25
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- UNIT 21
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- UNIT 22
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- UNIT 23
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LOWER UNIT BOUNDARY: -12.65
- UNIT 24
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LOWER UNIT BOUNDARY: -10.38
- UNIT 25
UPPER UNIT BOUNDARY: 88.36
LOWER UNIT BOUNDARY: -10.84
- UNIT 26
UPPER UNIT BOUNDARY: 87.82
LOWER UNIT BOUNDARY: -12.07
- UNIT 27
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LOWER UNIT BOUNDARY: -12.37
- UNIT 28
UPPER UNIT BOUNDARY: 87.82
LOWER UNIT BOUNDARY: -12.38
- UNIT 29
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- UNIT 30
UPPER UNIT BOUNDARY: 87.58
LOWER UNIT BOUNDARY: -12.44
- UNIT 31
UPPER UNIT BOUNDARY: 87.30
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- UNIT 32
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- UNIT 33
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LOWER UNIT BOUNDARY: -5.48
- UNIT 43
UPPER UNIT BOUNDARY: 84.87
LOWER UNIT BOUNDARY: -5.03
- UNIT 44
UPPER UNIT BOUNDARY: 88.88
LOWER UNIT BOUNDARY: -4.42

COMMON AREAS/UNIT BOUNDARIES		DATE: 04/25/05
THE COMMONS		SCALE: 1" = 100'
ENGINEERING DEVELOPMENT SERVICES, LLC		CHECKED BY: MFL
ENGINEERING & PLANNING • SURVEYING • CONSTRUCTION MANAGEMENT		DATE: 04/25/05
2005 V. 1.0		PROJECT: 000011
1000 1/2 N. 10TH AVE. SUITE 100, ALBANY, GA 31706		DESIGN: 04-000000
(404) 585-1000 FAX (404) 585-1001		SHEET NO. 3 OF 3

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The
Commons
At Magnolia Springs

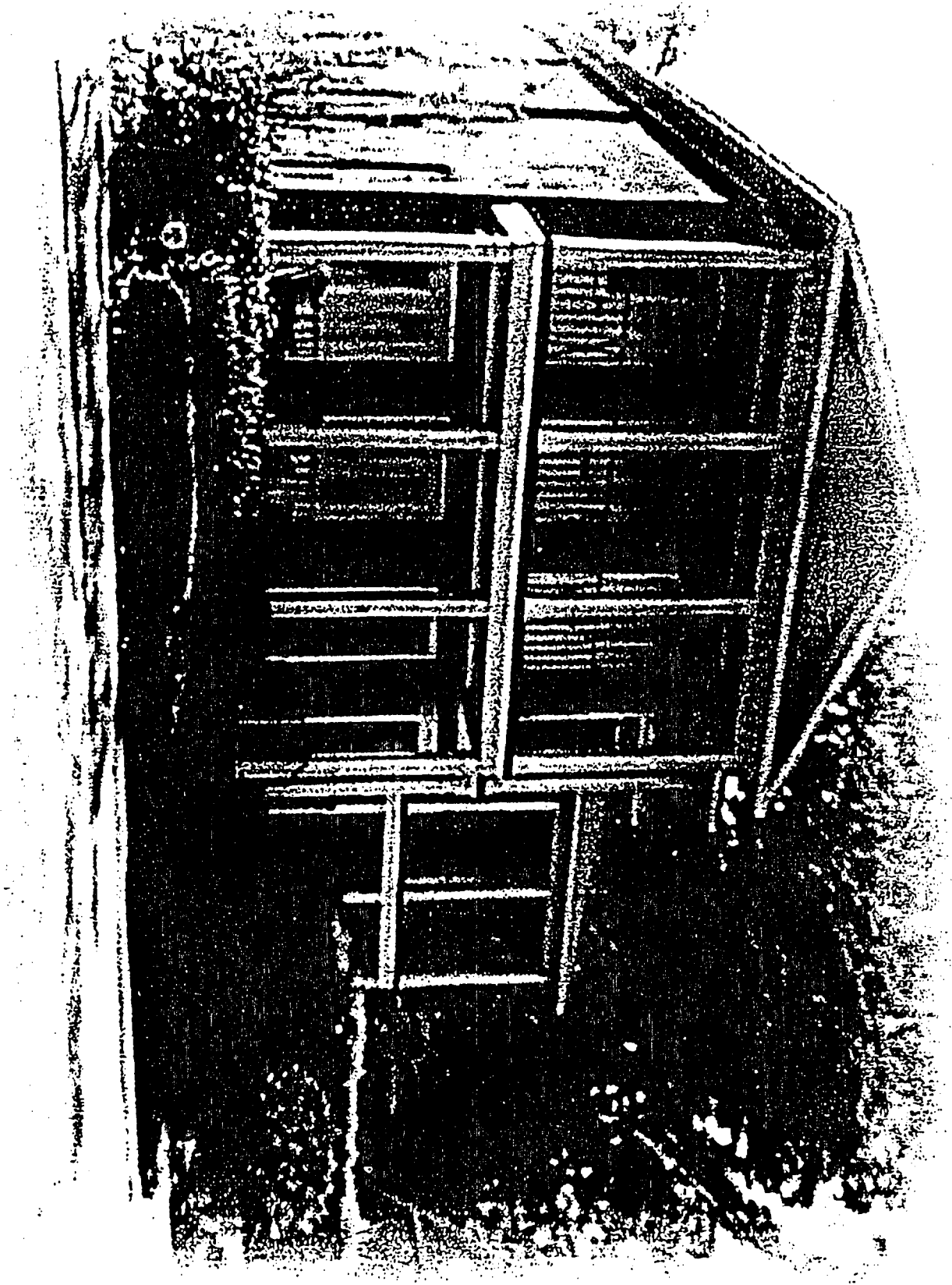
EXHIBIT "B" TO THE DECLARATION OF
CONDOMINIUM OF THE COMMONS

Ap# BK 21 pg 17

269895



Appt Bk 21 pg 18



ARCHITECTURAL GUIDELINES - EXHIBIT B

Let the effects of nature and time become
part of the character of the house.

A. Hayes Town

Apt Bk 21 Pg 19



In communities tested by time, there is a continuous awareness of the local or vernacular tradition that has evolved slowly over time. *The Commons* wants to preserve the awareness of Magnolia Springs and its unique traditions, and blend them with the philosophies of Neo-Traditional land planning.

Through developing decades of American Architecture, the image of the American house was one of a freestanding dwelling rising from its own land. It was thought to be an individual object separate from the walls of the neighbors. In the Neo-Traditional philosophy, the houses bear the responsibility of enhancing life on the streets and sidewalks, and bringing a human and architectural presence to the forgotten public domain. These aspects not only can accommodate, but also respond to modern living to create a pattern language that time weaves through effortlessly. Through the ages, the principles and methods might vary, but the values remain the same. *The Commons* is intended for the houses and communities to be invested with more feeling and character.

History has shown us that time cures all design flaws and enhances the positive aspects. Details and ideas that didn't work didn't last. These survivors prove that evolutionary design is healthier than visionary design. This will be the challenge of *The Commons* to use modern visionary planning to achieve the success of time-forged developments. These points will be achieved first by the overall land planning showing how the neighborhood lives and interacts. Secondly, the use of the common space, the small villages within the whole and then, finally, taking these ideals to form a pattern language constant in its houses and structures. This Architectural Guidelines Booklet presents a concise, jargon free, realistic illustration of how certain elements that give an area its special character are achieved.

Following the predominant character and range of architectural idioms requires organization and streamlining of what seems to be very broad and elusive information. However, careful interpretation and adherence to the overall concept will create the visual cohesiveness that anticipates time and proves . . .

“Beauty is in what time does.”

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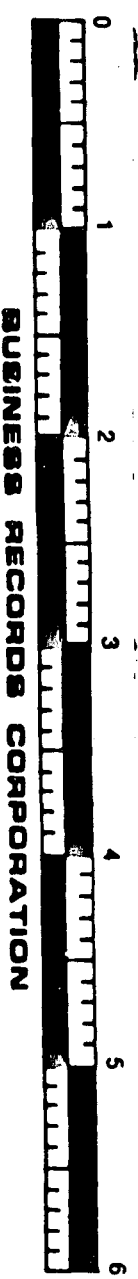


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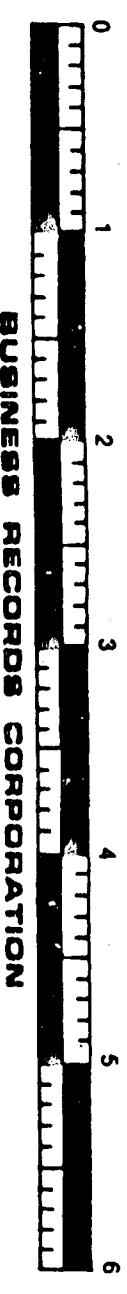
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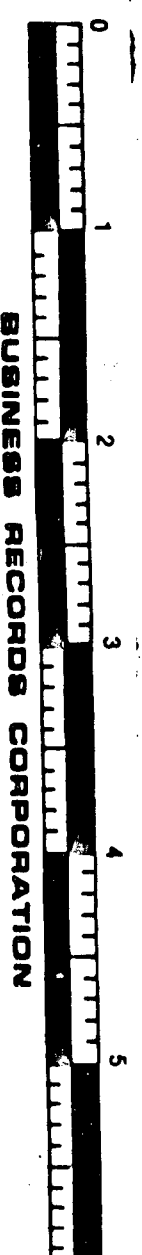
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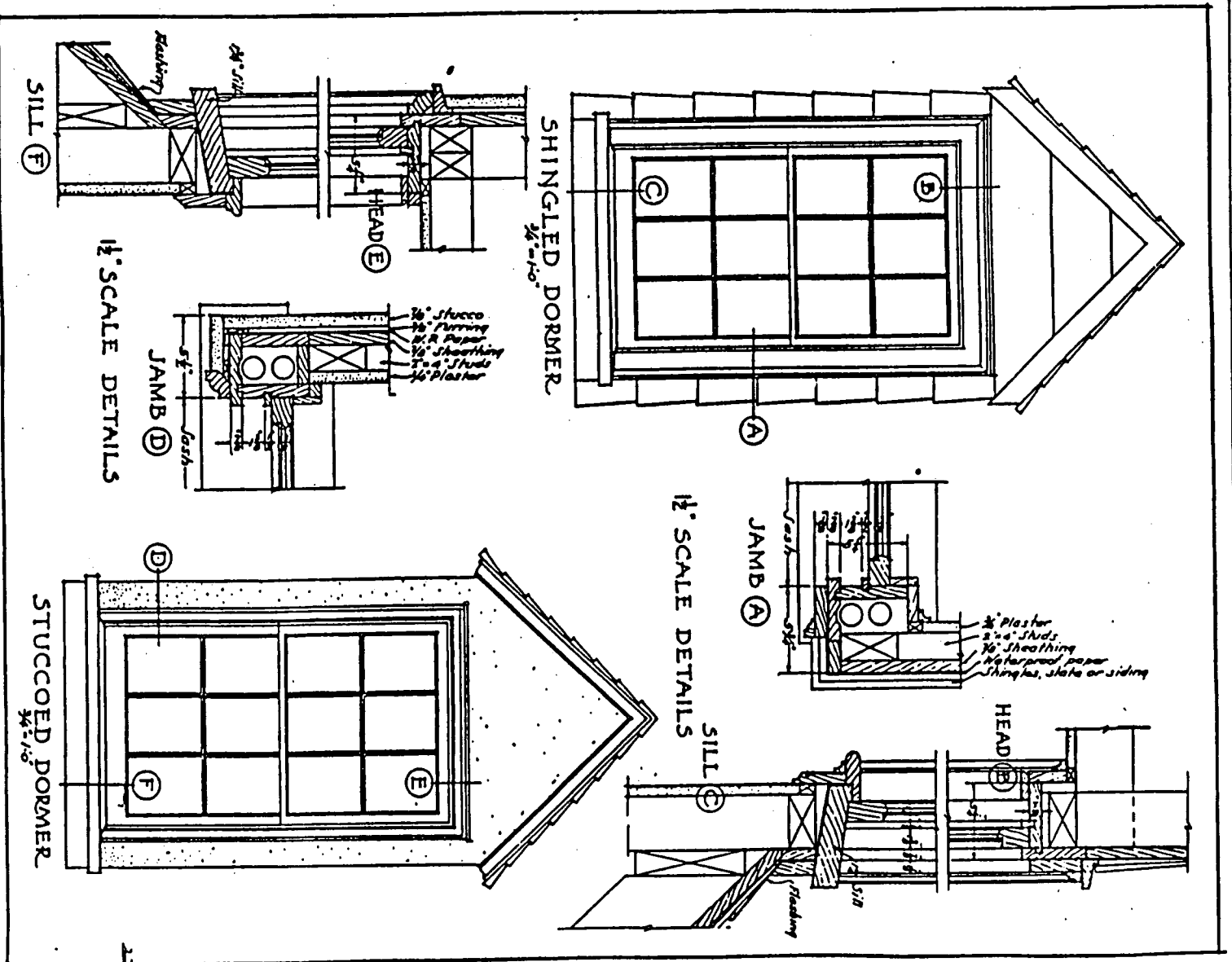
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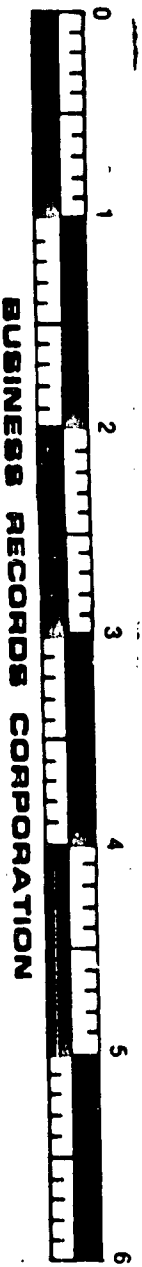




REVIEW PROCESS

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OVERVIEW OF REVIEW PROCESS

An Architectural Review Committee has been established to review all residential homes and associated structures proposed for *The Commons* at Magnolia Springs, Alabama. These guidelines have been coordinated to help create a community centered on the neighborhood with pleasing proportions, environmental safeguards, and consistent quality. It is recommended that a registered architect stamp all building drawings. It is also recommended that a Landscape Architect or a Certified Landscape Designer stamp all landscape plans.

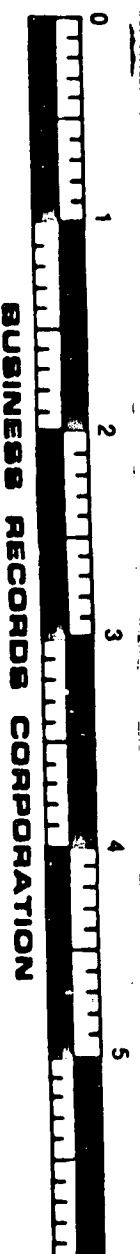
The Guidelines are for aesthetic control only. All construction methods shall still comply with all local safety codes and regulations; these regulations do not exempt any structure from complying with all applicable regulatory codes.

In anticipation of change and growth, the guidelines may be revised or changed without prior notification. However, in the event of a revision, all property owners will receive written addendums.

The review process is broken down into the following two phases:

- 1) **Preliminary Schematic Review** is the submittal of a site plan for review of proposed land use along with schematic elevations of the main residence and all accessory buildings. The preliminary schematic review requires a schematic drawing of the entire site and schematic elevations of all structures. The site plan is to include setbacks, easements, all structures' sizes and locations, all fencing (including elevation), alley access, driveways and all automobile accommodations. The site plan must also show all existing tree locations with any potential limb interference with construction. Include all utility connections and proposed locations for the required irrigation system and its mechanical equipment. This submittal is being required in the first stages of the design process to assure compliance to the land use intent and architectural style of the land planner and developer. The Preliminary Review approval will be required for Final Review submittals. See the following Preliminary Schematic Review submittal example and checklist. Preliminary Schematic Review submittal forms are located in the review administration section of the Guidelines Booklet.

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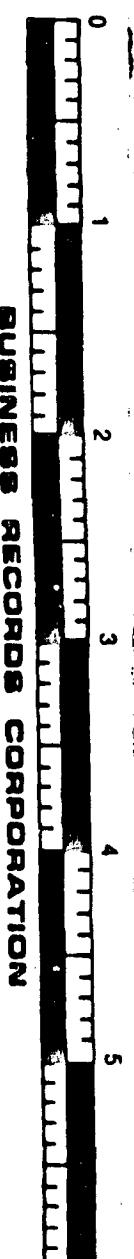
- 2) Final Review is the approval of final construction documents before construction. The Final Review is the submittal of the final construction drawings showing all intended structures and conditions. The review consists of two (2) sets of construction documents, landscape plans, and a color board. The Final Review submittal checklist is located in the Review Administration section of the Guidelines Booklet. The required format for the color board is listed on page 15 of the Guidelines Booklet.

In order to defray the expense of reviewing plans and related data and to compensate consulting architects, Landscape Architects and other professionals, *The Declaration of Condominium of The Commons, A Condominium* has established a fee of four hundred dollars (\$400.00) per submittal. The fee is payable upon the first submittal for the Preliminary Schematic Review, and covers the first and second parts of the process through Final Review. A partial refund of two hundred dollars (\$200.00) may be made if the Preliminary Schematic Review is conducted and the project is terminated before the Final Review submittal is made. After the Final Review has been conducted, there will be no refunds whether the project is constructed or not.

All property owners are bound by these architectural guidelines. It is provided in these covenants that no structure, fence, garage, carport, paving materials of any nature, or addition to any structure shall be erected, placed, or altered without written prior approval from the Architectural Review Committee.

Each Preliminary Schematic Review as well as Final Review submittals must be accompanied by the required information as outlined in the checklists given in the Review Administration section of the Guidelines Booklet. These requirements are in an effort to provide the Architectural Review Committee with necessary information on compliance. Every Preliminary Schematic Review will be conducted within thirty (30) business days of submittal of a complete review package. Final Reviews will also be conducted within thirty (30) business days of submittal of a complete review package.

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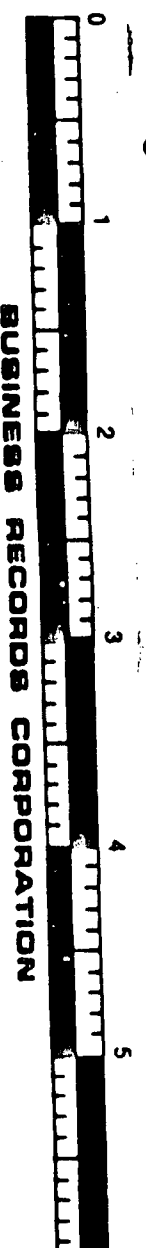
All review packages should be mailed or delivered to the offices of the agent of the of the Architectural Review Committee:

Blackwell Brooks Reid, Inc.
Architecture and Interior Design
7049 Professional Place
Daphne, Alabama 36526
(334) 621-0050
(334) 621-0525 FAX
BBI2Design @ aol.com

Upon completion of the Preliminary Schematic Review and Final Review, the owner will officially be informed of the results by mail. The Final Review submittal form will be mailed to the unit owner and developer. If there are any revisions to be made before re-submittal, it is the responsibility of the unit owner to pick up the Final Review package at the offices of Blackwell Brooks Reid, Inc. Preliminary Schematic Review submittals and one set of drawings, along with the sample board from the Final Review, will be kept for permanent records.

ALL APPROVALS MUST BE IN WRITING
FROM THE ARCHITECTURAL REVIEW COMMITTEE.

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PART ONE

Preliminary Schematic Review:

The site plan must indicate the proposed unit number, the required building type and required square footage totals, as well as the following information:

- Show all build-to and setback lines in relation to the proposed footprint of all primary and accessory structures located on the site (labeled and dimensioned).
- Show all existing features on and around the property including ribbon curbing, sidewalks, trees and any potential limb interference with construction.
- Show all proposed driveways, new sidewalks, and parking areas with materials indicated.

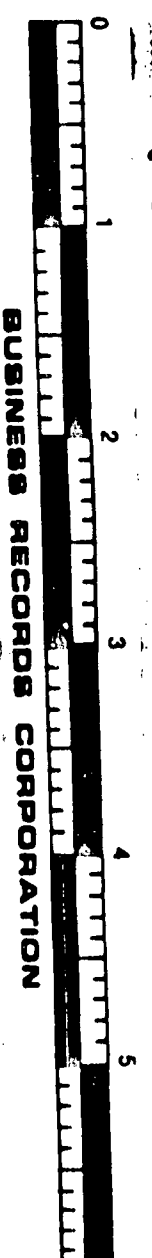
The elevations in a sketch form to scale or hard lined drawings to scale are acceptable. Show all four (4) elevations of the main structure including outbuildings and fencing. Elevation drawings should represent specified exterior materials as well as being labeled. Show any potential tree limb interference on the elevations. Indicate height of problem limb from existing grade along with proposed structure heights above grade.

Preliminary Schematic Review submittal drawings must be approved prior to Final Review submittals to the Architectural Review Committee. See the Preliminary Review submittal form in the Review Administration section of the Guidelines Booklet.

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10

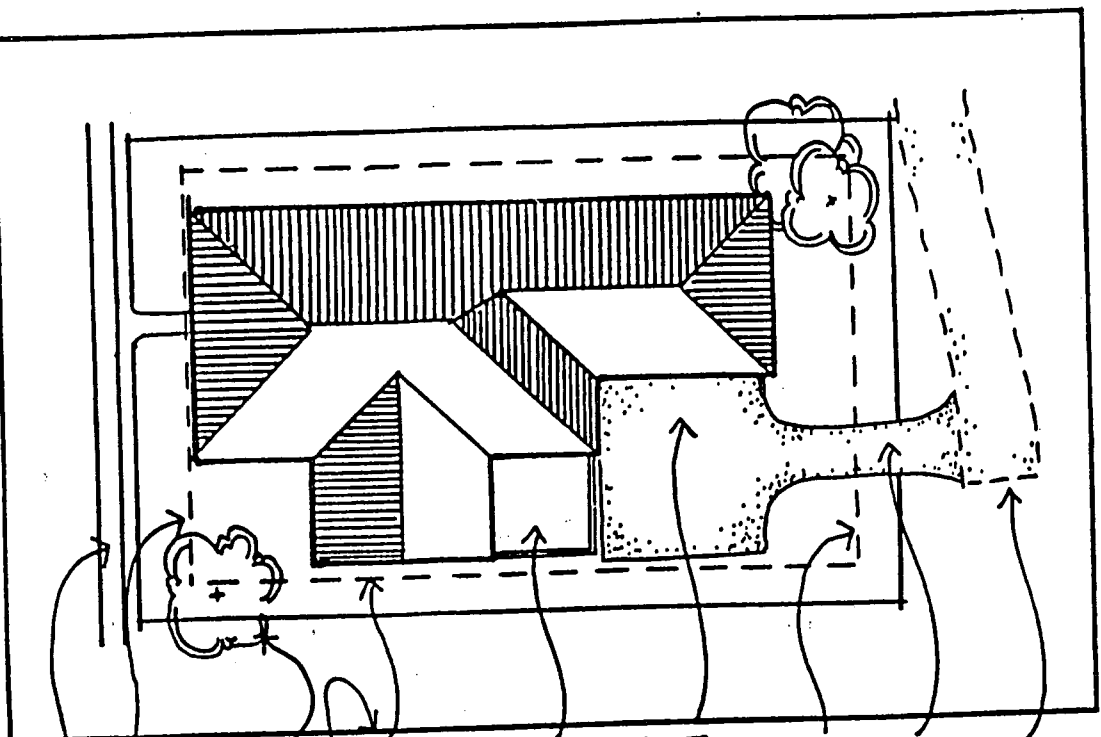
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SITE PLAN

ELEVATIONS

* LABEL ALL FEATURES, IF APPLICABLE

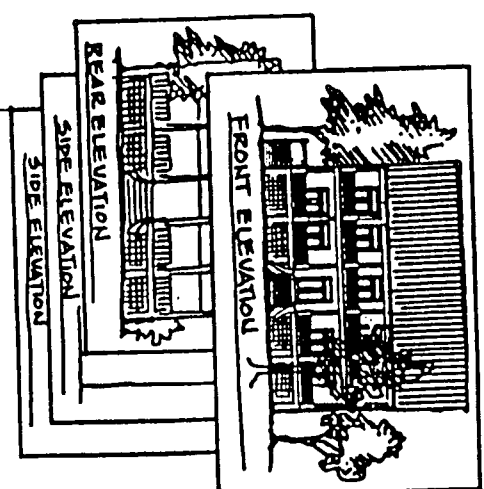


INDICATE UNIT NUMBER, BUILDING TYPE
SQUARE FOOTAGES - HEATED/COOLED
AND UNDER ROOF

TITLE - PRELIMINARY SCHEMATIC REVIEW - SITE PLAN

* PROVIDE SKETCH

ELEVATIONS OF ALL
FOUR SIDES -
MINIMUM SIZE OF
8 1/2" x 11" FORMAT

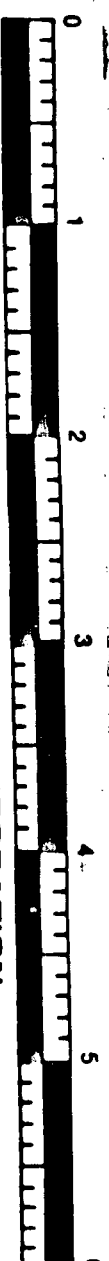


EXAMPLE - PRELIMINARY SCHEMATIC REVIEW

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BUSINESS RECORDS CORPORATION

PART TWO

Final Review:

This package should include two (2) sets of the following construction drawings:

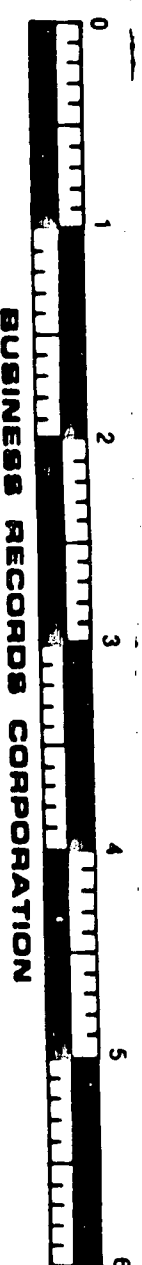
Preliminary Schematic Review Approval Letter
 Site Plan with Roof Plan (Roof Plan may be a separate drawing)
 Landscape Plan
 Foundation Plan
 Floor Plan(s)
 Building Sections
 Exterior Elevations (4)
 Electrical Plan

The Final Review submittal should also include a color board. See the following example of an acceptable format for the color board submittal.

Exterior wall material (actual sample)
 Exterior wall color and all trim colors – limited to three
 Roofing material and color (actual sample)
 Window color (manufacturer's color chip sample)

These are minimum sample requirements; any additional samples or information may be included.

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FINAL REVIEW SUBMITTAL REQUIREMENTS

General Drawing Requirements

A Registered Architect is recommended to stamp all building drawings. It is also recommended that all landscape drawings be stamped by a Landscape Architect or signed by a Certified Landscape Designer.

Site Plans

An approved Preliminary Schematic Review letter must be included in the submittal.

Show all fencing as approved on the Preliminary Schematic Review.

Show fence details somewhere in the set.

The unit number and building type must be indicated on the plan.

Show property lines with accurate bearings and dimensions (based on current closing survey).

Show build-to and setback lines with dimensions as indicated in the Architectural Guidelines.

Show the main residence and all outbuildings, decks, and patios as presented in the Preliminary Review.

Any significant variation from the approved preliminary submittal is subject to a re-submittal for review before the Final Review submittal is accepted.

Show all walks, driveway locations, carports and garages for specific units as required by the guidelines with all dimensions and materials indicated.

Show heating ventilation and/or air conditioning unit (and other mechanical systems) location with screening specified.

Show locations of all utility connections.

Show North arrow.

Landscape Plans

A Landscape Architect or a Certified Landscape Designer is recommended to design all landscape drawings.

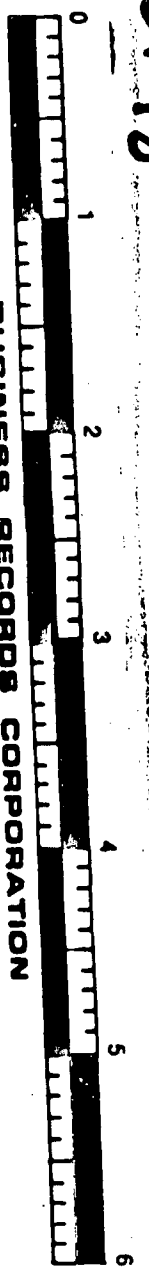
Show variety, size, location, and amount of all plants and trees.

Show any specialty lightings indicating location and detailed description (specification cut sheet if applicable).

Show types and limits of sodded areas.

An irrigation system covering the front, side, and rear yards is required. It is recommended that separate irrigation plans prepared by a licensed irrigation contractor, reviewed and signed by a Landscape Architect or Certified Landscape Designer, be submitted.

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Foundation Plan

Show a typical footing detail, indicating type of construction and finished floor elevation above grade. The elevation in reference to the 100-year base flood elevation, as determined by FEMA and Baldwin County, must be surveyed and indicated on the drawings (unit grade elevation and finished floor elevation of the structure will be required for building permitting). Foundation walls are required to have exterior material with all screening indicated.

Floor Plans

Show a thoroughly dimensioned plan drawn at an appropriate scale. Show all doors and windows labeled with accompanying schedules indicating the manufacturer and style. All fixtures, appliances, and cabinets must be indicated. Show the total under-roof square footage broken down by heated/cooled areas, non-heated/cooled areas, covered porches, decks and garages.

Building Sections

Show building sections indicating stairways (if applicable). Footing and framing details must be shown with all materials indicated.

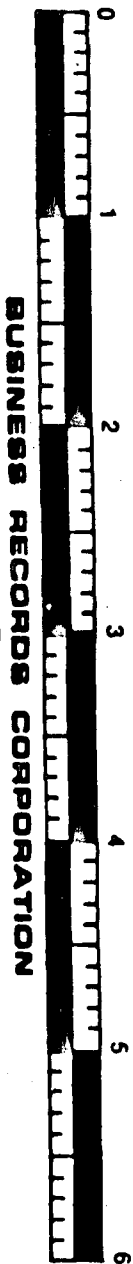
Exterior Elevations

Four (4) elevations of each dwelling and outbuildings must be shown. Show specification of roof pitch. Show chimney cap (if applicable). Show typical deck and railing details (if applicable). Show relation of structures to actual site slope. Show typical fencing or retaining wall details (if applicable).

Additional Plans and Requirements

Structures are to be well balanced and proportioned in accordance with the design/construction elements of the house as well as the site and surrounding features. Recommendations will be made by the Architectural Review Committee for corrections concerning design, proportion, and aesthetics if the committee feels the structure will not contribute to the promotion of the intended architectural style of the development.

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COLOR BOARD

UNIT # _____

COLOR BOARD - 'X' RESIDENCE 00/00/00

COLOR OF PAINT
OR STAIN OF
EXTERIOR
SIDING

TRIM
COLOR

ACCENT COLOR

INCLUDE PHOTO OF
BRICK OR COLOR
BOARD AND SUBMIT
ACTUAL BRICK
SAMPLE

STUCCO COLOR
FOR FENCING
(IF APPLICABLE)

EXTERIOR SIDING
AND TRIM

SHINGLE
SAMPLE

WINDOW FRAME
COLOR

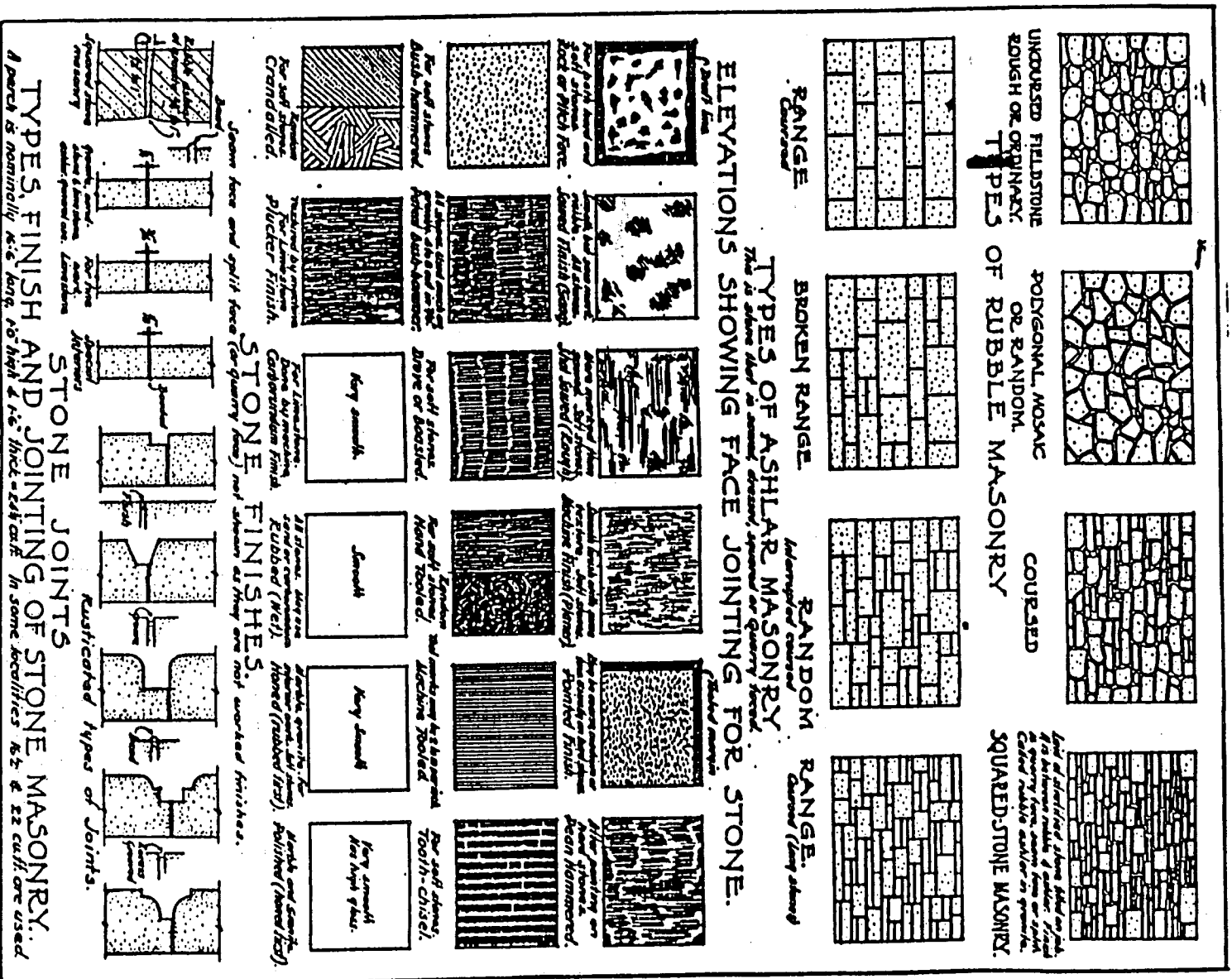
PICTURE OF IRONWORK
PATTERN (IF APPLICABLE)

EXAMPLE - FINAL REVIEW

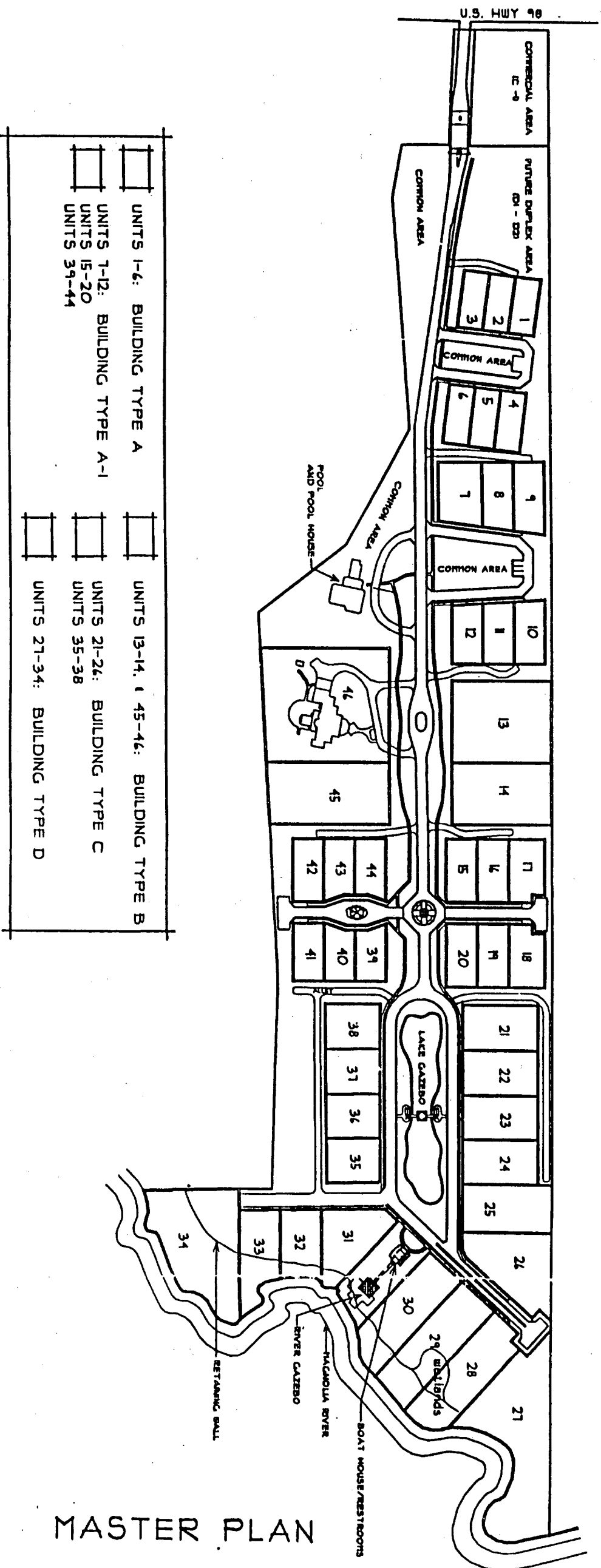
Apt Bk 21 pg 33

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Ad BK 21 28 34



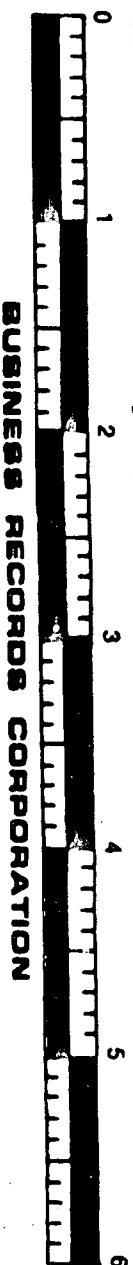
NORTH



17

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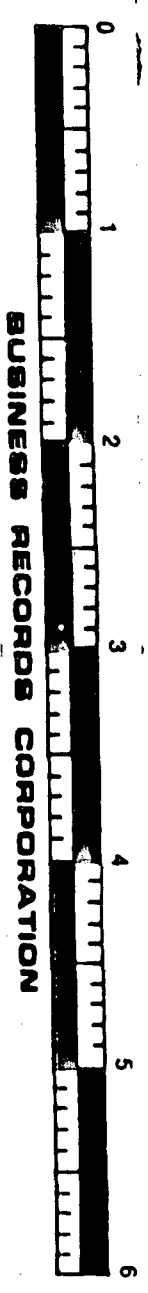
BUILDING TYPE GUIDELINES

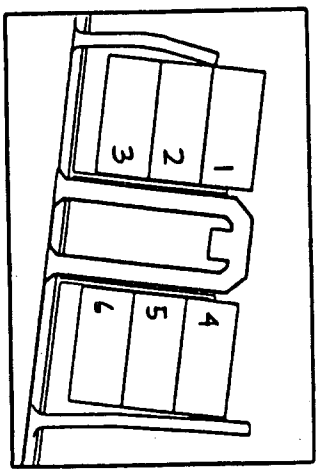
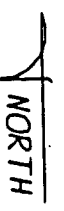
Units 1-6	-	Building Type A	=	primary residence 1400 sq. ft. minimum heated/cooled area *
Units 7-12 15-20 39-44	-	Building Type A1	=	primary residence 1800 sq. ft. minimum heated/cooled area *
Units 13-14 45-46	-	Building Type B	=	primary residence 4000 sq. ft. minimum heated/cooled area *
Units 21-26 35-38	-	Building Type C	=	primary residence 2400 sq. ft. minimum heated/cooled area *
Units 27-34	-	Building Type D	=	primary residence 3000 sq. ft. minimum heated/cooled area *
Units D-1, & D-2	-	Duplex Building	=	1600 sq. ft. (each unit)
Units C-1	-	Commercial Site	=	see exhibit C

All Architectural Guidelines in terms of the overall style for residential units, apply to all commercial buildings with variations to accommodate commercial building codes and requirements.

*See the following pages for specific building types and specific unit restrictions. Also reference the Garage section under the Building Design and Construction Standards section of the Guidelines Booklet for unit usage restrictions.

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UNITS 1 - 6

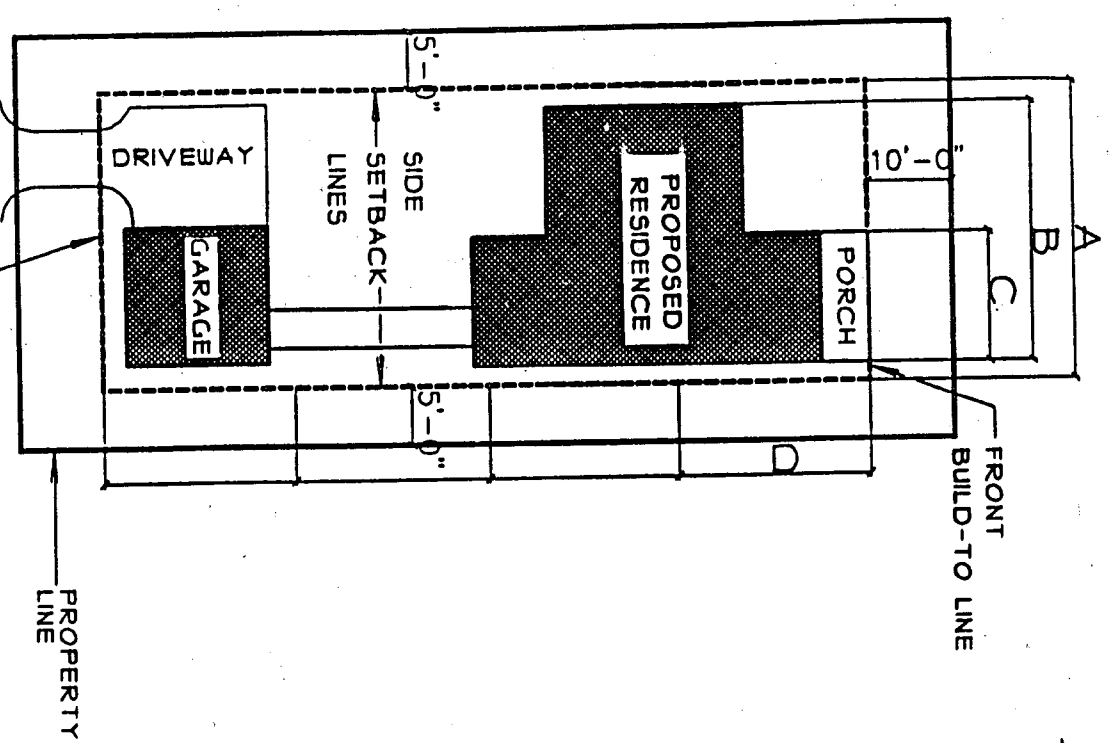
MINIMUM TOTAL HEATED/ COOLED SQUARE FOOTAGE
1400 SQ. FT.

A MINIMUM OF 50% OF THE OVERALL PRIMARY STRUCTURES WIDTH (C) MUST BE AN OPEN PORCH WITH THE MAJORITY BUILT ON THE FRONT BUILD TO LINE.

SOME HISTORICAL ARCHITECTURAL STYLES USING PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR APPROVAL AND WILL BE REVIEWED ON AN INDIVIDUAL BASIS.

PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO HAVE 90% OF THE WIDTH OF THE RESIDENCE (B) AT SOME POINT WITHIN THE FRONT 25% IN DEPTH (D) OF THE BUILDABLE AREA.

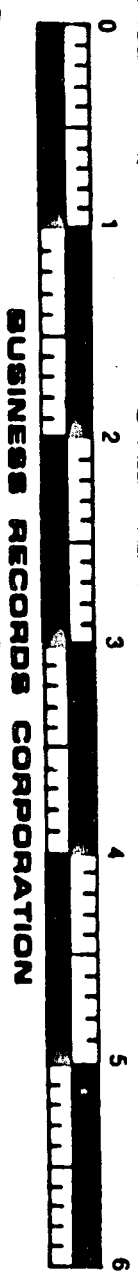
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT.

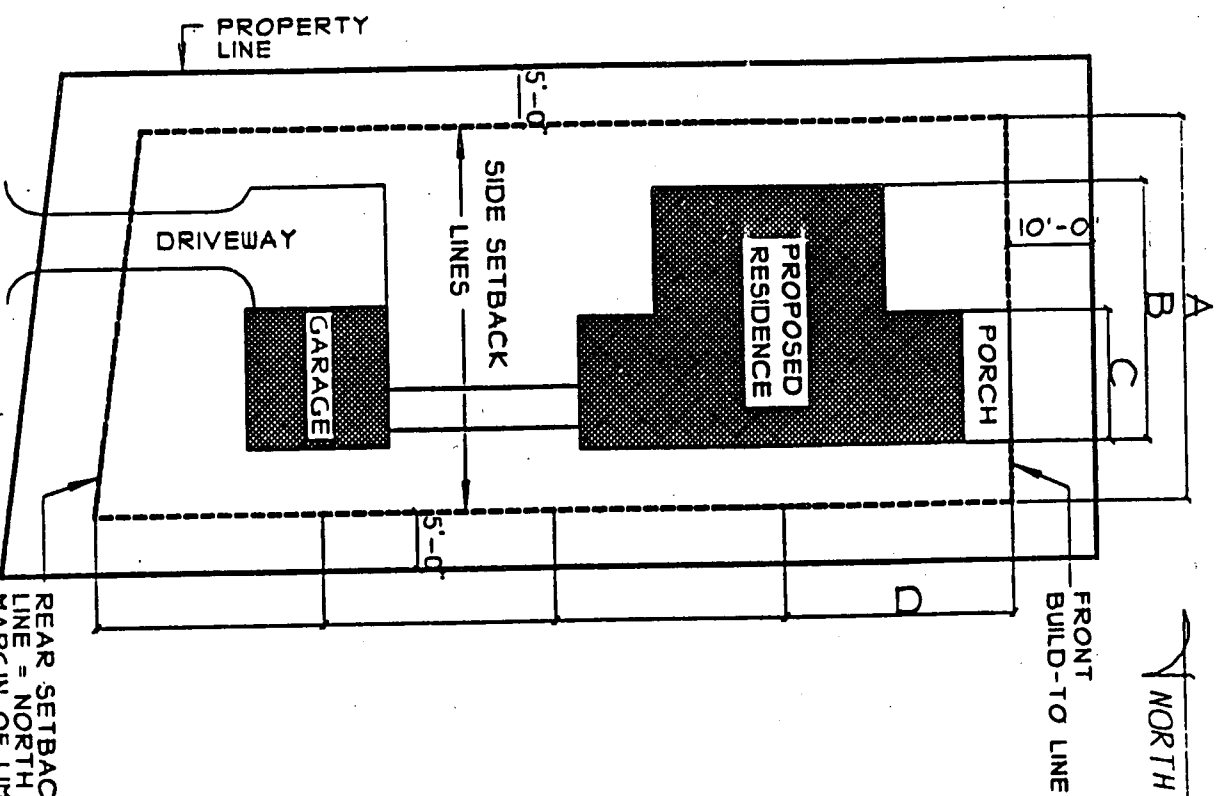


- A = OVERALL BUILDABLE AREA
- B = PRIMARY RESIDENCE STRUCTURE WIDTH
- C = 50% OF STRUCTURE'S WIDTH MUST BE AN OPEN PORCH
- D = FRONT 25% OF AVAILABLE BUILDABLE AREA DEPTH

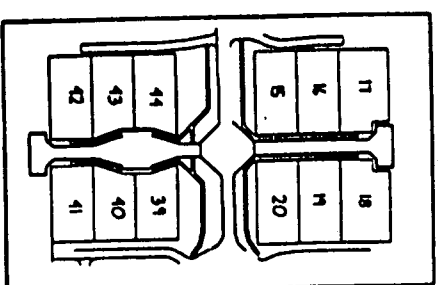
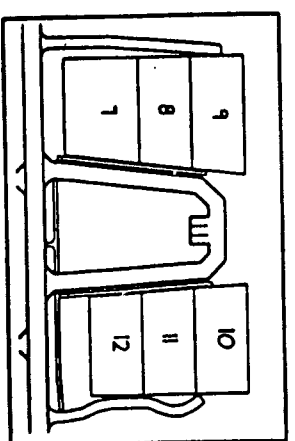
BUILDING TYPE A

Apt Bk 21 Pg 37





- A = OVERALL BUILDABLE AREA
- B = PRIMARY RESIDENCE STRUCTURE WIDTH
- C = 50% OF STRUCTURE'S WIDTH MUST BE AN OPEN PORCH
- D = FRONT 25% OF AVAILABLE BUILDABLE AREA DEPTH



MINIMUM TOTAL HEATED/ COOLED SQUARE FOOTAGE
1800 SQ. FT.

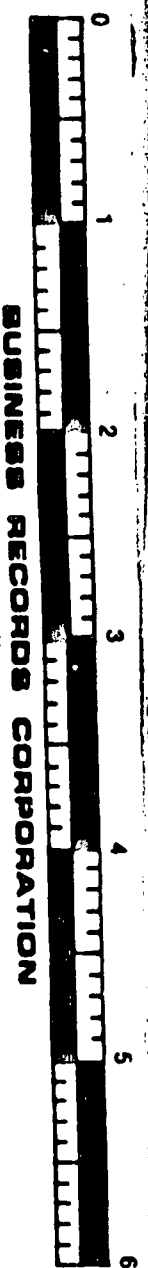
A MINIMUM OF 50% OF THE OVERALL PRIMARY STRUCTURES WIDTH (C) MUST BE AN OPEN PORCH WITH THE MAJORITY BUILT ON THE FRONT BUILD TO LINE.

SOME HISTORICAL ARCHITECTURAL STYLES USING PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR APPROVAL AND WILL BE REVIEWED ON AN INDIVIDUAL BASIS. PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO HAVE 90% OF THE WIDTH OF THE RESIDENCE (B) AT SOME POINT WITHIN THE FRONT 25% IN DEPTH (D) OF THE BUILDABLE AREA.

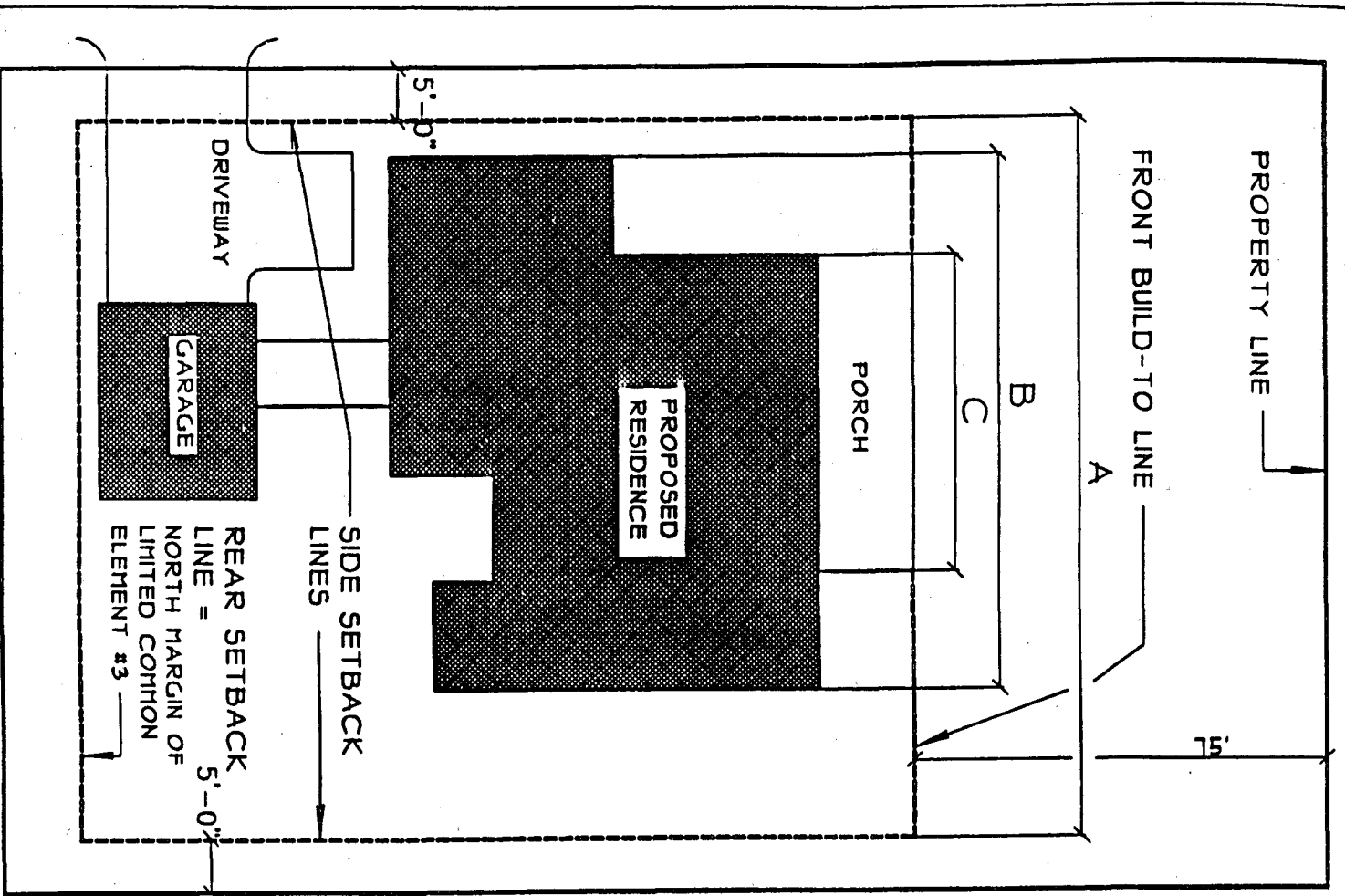
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT.

BUILDING TYPE A-1 UNITS 7-12, 15-20, 39-44

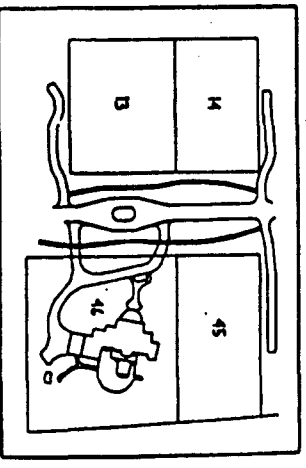
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BUSINESS RECORDS CORPORATION



NORTH



UNITS 13-14,45-46

MINIMUM TOTAL HEATED/ COOLED SQUARE FOOTAGE
1000 SQ. FT.

A MINIMUM OF 50% OF THE OVERALL PRIMARY
STRUCTURES WIDTH (C) MUST BE AN OPEN PORCH WITH
THE MAJORITY BUILT ON THE FRONT BUILD-TO LINE.

SOME HISTORICAL ARCHITECTURAL STYLES USING
PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR APPROVAL
AND WILL BE REVIEWED ON AN INDIVIDUAL BASIS.

ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL
BASED ON PRESERVATION OF NATURAL FEATURES
ON THE UNIT.

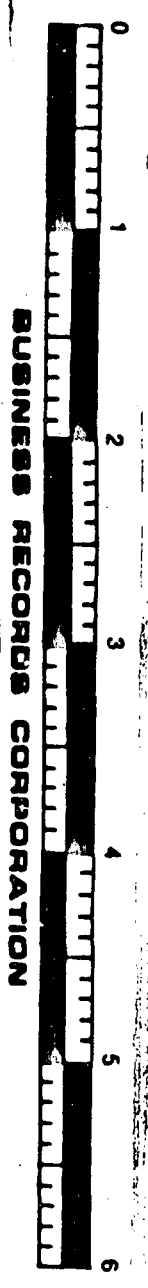
ALL GARAGES MUST LOAD
FROM THE SIDE ALLEYS ONLY.

THE RESIDENCE AND IMPROVEMENTS LOCATED ON
UNIT 46 ARE EXEMPT FROM THESE REQUIREMENTS.

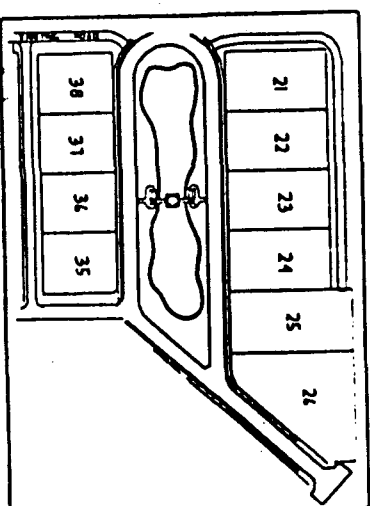
- A = OVERALL BUILDABLE AREA
- B = PRIMARY RESIDENCE STRUCTURE WIDTH
- C = 50% OF STRUCTURE'S WIDTH MUST BE AN OPEN PORCH

BUILDING TYPE B

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NORTH



UNITS 21-26,35-38

MINIMUM TOTAL HEATED/ COOLED SQUARE FOOTAGE
2400 SQ. FT.

A MINIMUM OF 50% OF THE OVERALL PRIMARY STRUCTURES WIDTH (C) MUST BE AN OPEN PORCH WITH THE MAJORITY BUILT ON THE FRONT BUILD TO LINE.

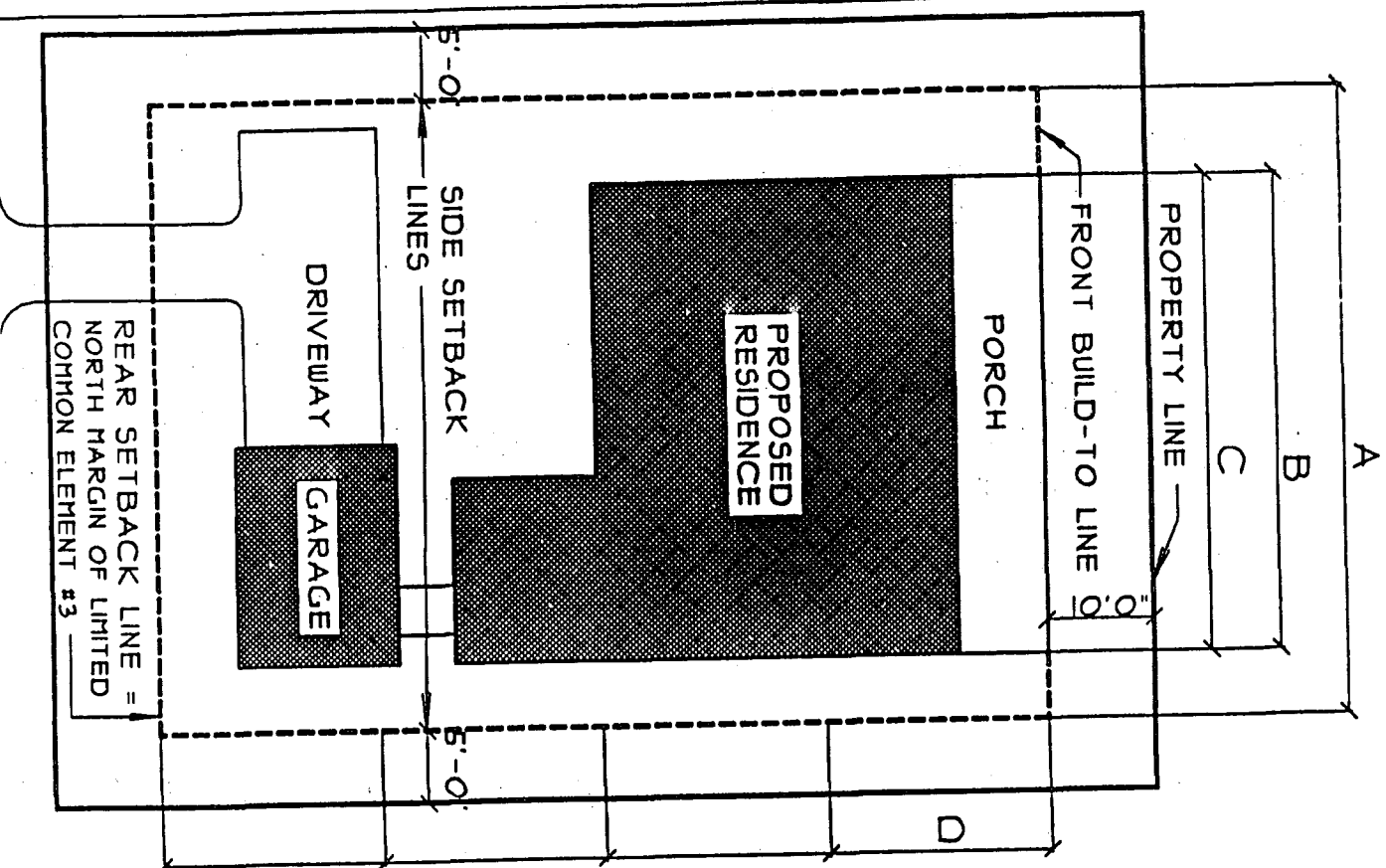
SOME HISTORICAL ARCHITECTURAL STYLES USING PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR APPROVAL AND WILL BE REVIEWED ON AN INDIVIDUAL BASIS.

PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO HAVE 90% OF THE WIDTH OF THE RESIDENCE (B) AT SOME POINT WITHIN THE FRONT 25% IN DEPTH (D) OF THE AVAILABLE BUILDABLE AREA.

ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT.

- A = OVERALL AVAILABLE BUILDABLE AREA
- B = PRIMARY RESIDENCE STRUCTURES WIDTH
- C = 50% OF STRUCTURES WIDTH MUST BE AN OPEN PORCH
- D = FRONT 25% OF AVAILABLE BUILDABLE AREA DEPTH

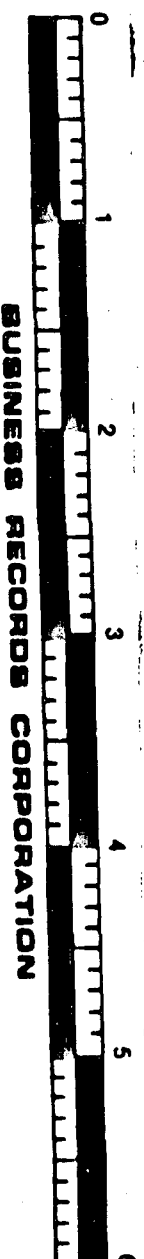
BUILDING TYPE C



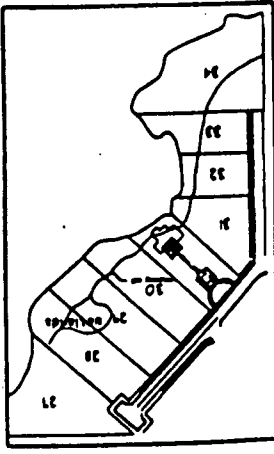
22

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BUSINESS RECORDS CORPORATION



UNITS 28-33

MINIMUM TOTAL HEATED / COOLED SQUARE FOOTAGE
3000 SQ. FT.

A MINIMUM OF 50% OF THE OVERALL PRIMARY STRUCTURES WIDTH (C) MUST BE AN OPEN PORCH WITH THE MAJORITY BUILT ON THE FRONT BUILD-TO LINE. EXCEPT FOR CASES IN WHICH THE GARAGE IS BUILT ON THE FRONT BUILD-TO LINE (SEE NOTE BELOW).

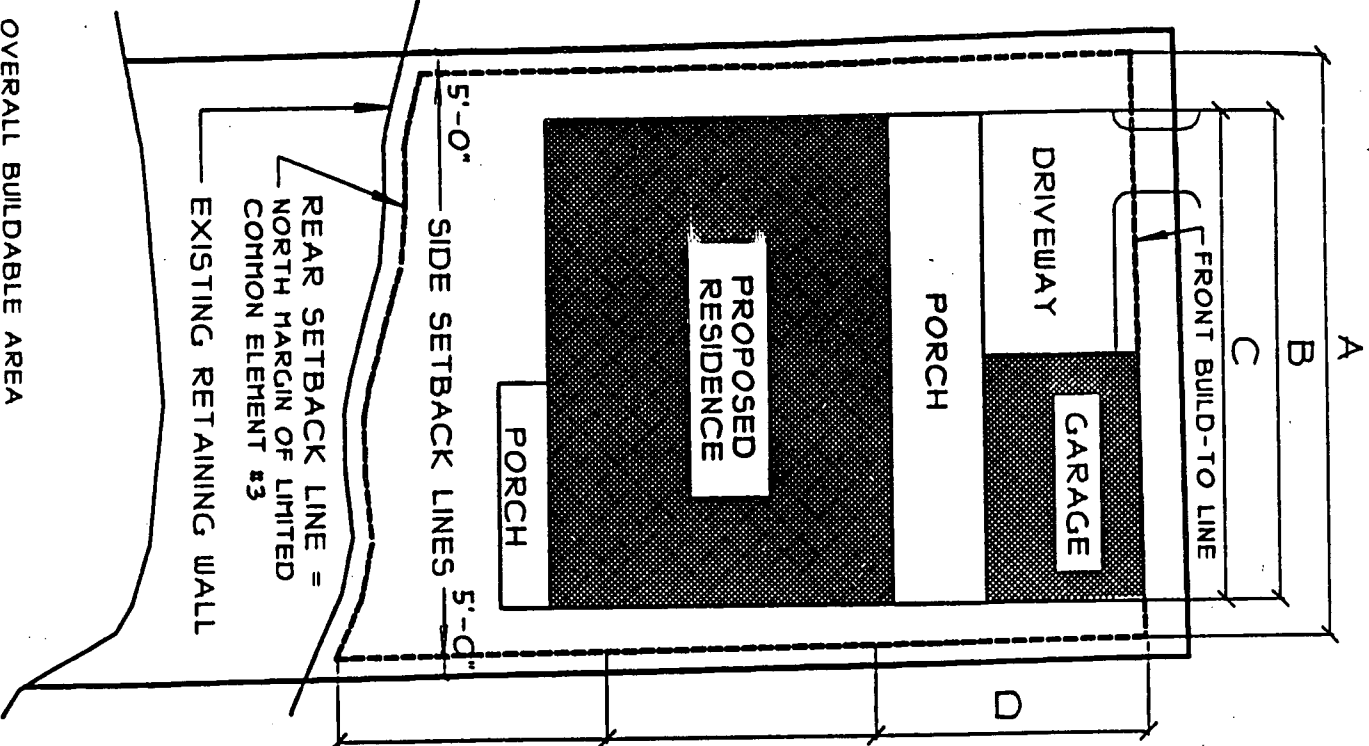
SOME HISTORICAL ARCHITECTURAL STYLES USING PRIMARY PORCHES MAY BE SUBMITTED FOR APPROVAL AND WILL BE REVIEWED ON AN INDIVIDUAL BASIS.

PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO HAVE 90% OF THE WIDTH OF THE RESIDENCE (B) AT SOME POINT WITHIN THE FRONT THIRD (D) OF THE AVAILABLE BUILDABLE AREA IN DEPTH.

ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT.

IF GARAGES ARE BUILT ON THE STREET SIDE OF THE PRIMARY RESIDENCE, THEY MUST BE LOCATED ON THE BUILD-TO LINE. IF THE GARAGE IS BUILT IN THE REAR, THE FRONT PORCH MUST BE ON THE BUILD-TO LINE.

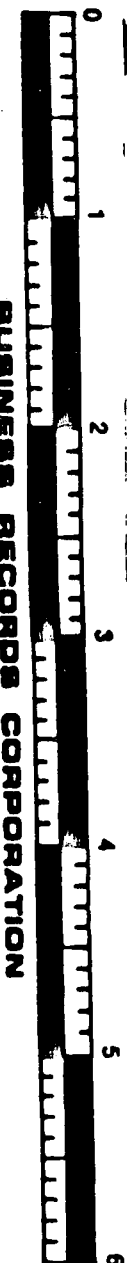
NO GARAGE DOORS SHALL BE VISIBLE FROM THE STREET. (SEE DETAILED DRIVEWAY PLACEMENTS IN BUILDING DESIGN AND CONSTRUCTION SECTIONS OF THE GUIDELINES.)

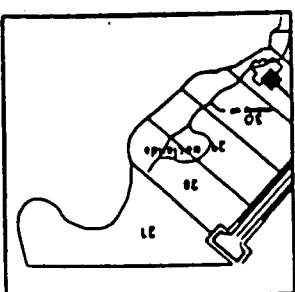
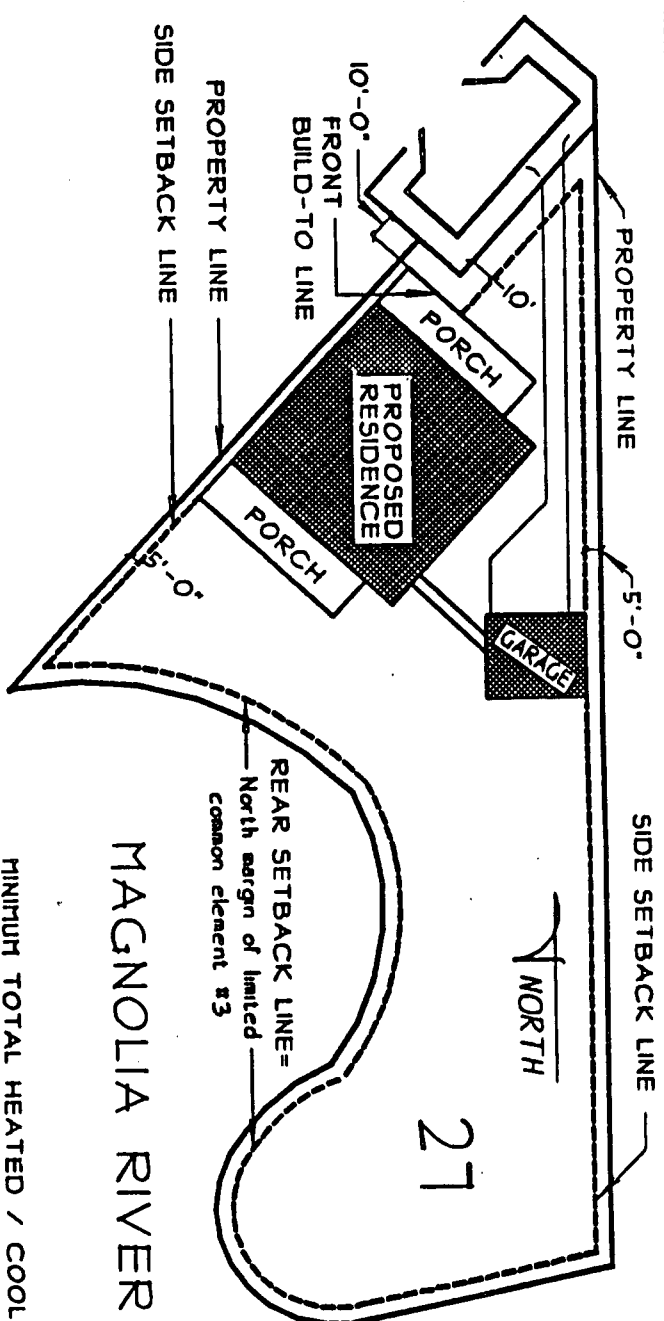


- A = OVERALL BUILDABLE AREA
- B = PRIMARY RESIDENCE STRUCTURE WIDTH
- C = 50% OF STRUCTURE'S WIDTH MUST BE AN OPEN PORCH
- D = FRONT THIRD OF AVAILABLE BUILDABLE AREA DEPTH

BUILDING TYPE D

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UNIT 21

MINIMUM TOTAL HEATED / COOLED SQUARE FOOTAGE
3000 SQ. FT.

A MINIMUM OF 50% OF THE OVERALL PRIMARY STRUCTURES
WIDTH MUST BE AN OPEN PORCH WITH THE MAJORITY
BUILT ON THE FRONT BUILD-TO LINE.

SOME HISTORICAL ARCHITECTURAL STYLES USING
PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR
APPROVAL AND WILL BE REVIEWED ON AN
INDIVIDUAL BASIS.

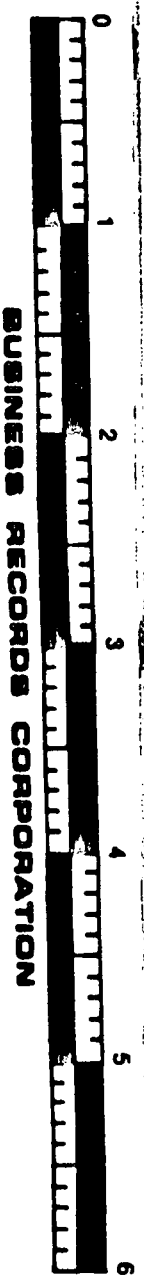
PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO
HAVE 90% OF THE WIDTH OF THE RESIDENCE
AT SOME POINT WITHIN THE FRONT 25% IN DEPTH
OF THE AVAILABLE BUILDABLE AREA.

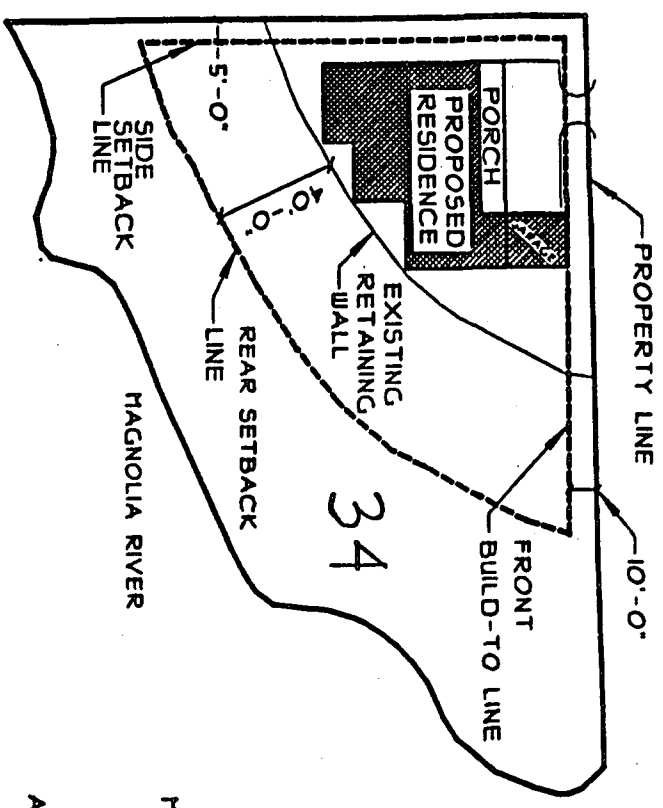
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL
BASED ON PRESERVATION OF NATURAL FEATURES
OR IRREGULAR BUILDABLE AREAS ON THE UNIT.

BUILDING TYPE D

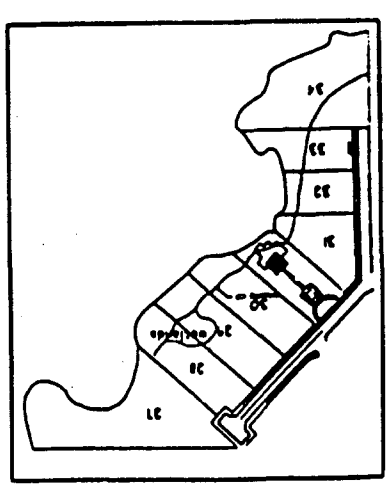
ONLY BOATHOUSES ARE ALLOWED SOUTH OF
RETAINING WALL ON UNITS 21-34 AND ARE SUBJECT
TO ALL FEDERAL, STATE, AND LOCAL APPROVALS
AND PERMITS.
IF APPROVED, ALL PIERS, BOATLIFTS, AND BOATHOUSES
SHALL FOLLOW THE SAME SIDE SETBACK PLACEMENTS
AS THE GARAGE RESTRICTIONS. (SEE PAGE 32 OF THE
GUIDELINES BOOKLET.)
NO GARAGE DOORS SHALL BE VISIBLE FROM THE
STREET. (SEE DETAILED DRIVEWAY PLACEMENTS IN
BUILDING DESIGN AND CONSTRUCTION SECTION OF
THE GUIDELINES BOOKLET.)

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NORTH



MINIMUM TOTAL HEATED / COOLED SQUARE FOOTAGE
3000 SQ. FT.

UNIT 34

A MINIMUM OF 50% OF THE OVERALL PRIMARY
STRUCTURES WIDTH MUST BE AN OPEN PORCH WITH
THE MAJORITY BUILT ON THE FRONT BUILD-TO LINE.

SOME HISTORICAL ARCHITECTURAL STYLES USING
PRIMARY SIDE PORCHES MAY BE SUBMITTED FOR
APPROVAL AND WILL BE REVIEWED ON AN
INDIVIDUAL BASIS.

PRIMARY RESIDENCE STRUCTURE IS RECOMMENDED TO
HAVE 90% OF THE WIDTH OF THE RESIDENCE
AT SOME POINT WITHIN THE FRONT 25% IN DEPTH
OF THE AVAILABLE BUILDABLE AREA.

ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL
BASED ON PRESERVATION OF NATURAL FEATURES OR
IRREGULAR BUILDABLE AREAS ON THE UNIT.

ONLY BOATHOUSES ARE ALLOWED SOUTH OF RETAINING
WALL ON UNITS 27-34 AND ARE SUBJECT TO ALL
FEDERAL, STATE, AND LOCAL APPROVALS AND PERMITS.
UNIT 34 PRIMARY RESIDENTIAL STRUCTURE MAY EXTEND
OVER THE RETAINING WALL AND IS SUBJECT TO ALL
FEDERAL, STATE, AND LOCAL APPROVALS AND PERMITS.
IF APPROVED, ALL PIERS, BOATLIFTS, AND BOATHOUSES
SHALL FOLLOW THE SAME SIDE SETBACK PLACEMENTS AS
THE GARAGE RESTRICTIONS. (SEE PAGE 32.)
NO GARAGE DOORS SHALL BE VISIBLE FROM THE STREET.
(SEE DETAILED DRIVEWAY PLACEMENTS IN BUILDING DESIGN
AND CONSTRUCTION SECTION OF THE GUIDELINES.)

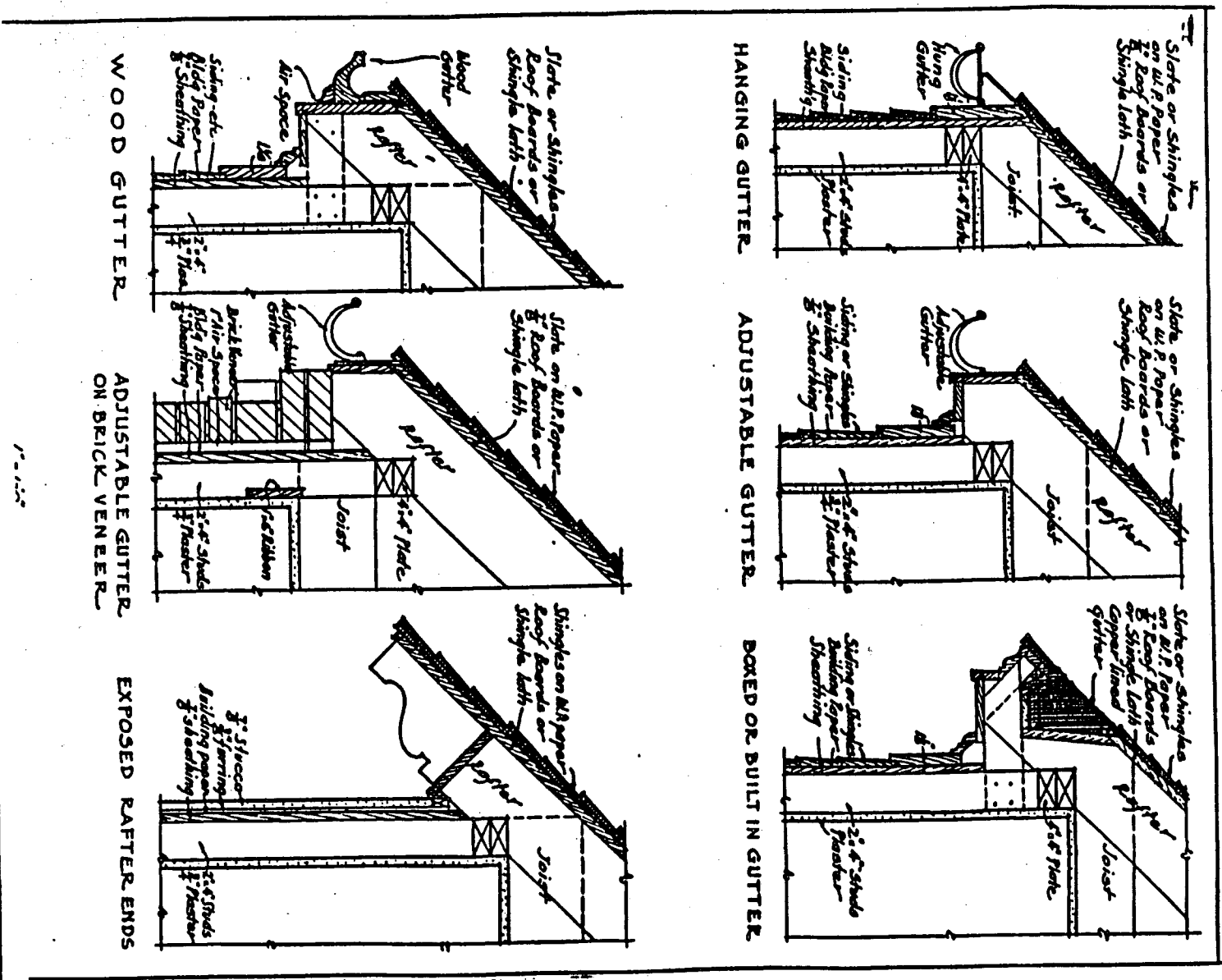
BUILDING TYPE D

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BUSINESS RECORDS CORPORATION

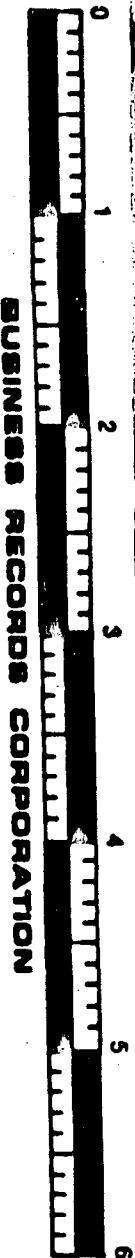
Architectural Graphic Standards, Charles George Ramsey and Harold Reeve Sleeper, Third Edition Copyright © 1947 Reprinted by permission of John Wiley and Sons, Inc.



BUILDING DESIGN AND CONSTRUCTION

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BUSINESS RECORDS CORPORATION

SITE GRADING

There shall be no direct channeling of runoff into wetlands from home rooftops or other impervious surfaces unless methods of filtration are provided. Runoff during construction may not cause damage to adjacent properties. It is required that an erosion control device, such as temporary silt fencing, be installed throughout the construction process.

Retaining walls may be required on some units where grading is required, and is to follow the architectural style of the house. The wall design has to be submitted in the package for approval. Materials approved for retaining walls are brick, stucco over concrete block, or stacked stone. All drawings must show retaining wall location on the unit and how it integrates to the site grading.

FOUNDATIONS / FINISHED FLOORS

Building Types A and A1: Finished floor elevations must be a minimum 24" or no more than 36" above center of roadway (minimum of three steps from sidewalk to finished floor of front porch), excluding units 18-20 and 39-41, which are in an existing flood plain. Units 18-20 and 39-41 have a current minimum elevation for the first floor under existing government flood regulations of 12' above mean sea level. Finished floor elevations for units 18-20 and 39-41 should be 24" above center of roadway or shall be no more than 18" above the base flood level under government regulations, as may be amended from time to time by government authorities.

Building Types B: Finished floor elevations must be a minimum 24" or no more than 36" above center of roadway (minimum of three steps from sidewalk to finished floor of front porch).

Building Types C and D: Units 21-38 are in an existing flood plain. The current minimum elevation for the first floor under existing government flood regulations is 11' above mean sea level for units 24-38. Units 21-23 have a current minimum elevation for the first floor under existing government flood regulations of 12' above mean sea level.

**Building Types Duplex-1:
& Duplex-2** Finished floor elevations must be 24" above center of roadway (minimum of three steps from sidewalk to finished floor of front porch).

Pile foundation structures must be wrapped with brick. All undercroft areas are to be screened with approved materials.

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PORCHES, PATIOS, DECKS, AND RAILINGS

All main residential structures are required to have a street side porch unless otherwise approved. Decks and/or terraces are also encouraged on all residences. All porches and decks are to be in proportion with the finished floor elevation and to the site. For building types A, A1, B, and C, 50% of the overall structure width must be placed on the front build-to line and is required to be an open porch. Building types D are required to have porches of at least 50% of the overall structure width on the street side. With all units, some historical architectural styles may be approved as a variation of these guidelines.

Primary porches are required to be open and have a minimum of 10' ceilings. Column spacing is to be vertically proportioned at a distance center to center smaller than the height of the column. Columns are required to be wood, iron, wood having a stone base, iron with a stone base, or an appropriate combination of the above.

Screened porches will *not* be allowed on the street side of the primary residence. Corner units will be reviewed on an individual basis. Any screening must be indicated on submittal drawings and approved by the Architectural Review Committee. If screened areas are approved, the screening material must be 66" in width of copper or aluminum. Division breaks on screen walls must stay within like proportion to that of the main residence.

Patio paving materials shall be consistent with or compliment the architectural style of the residence. Approved materials are brick, pavers, stone, tile, wood, or scored stained concrete.

Railings on porches and decks must comply with all local and applicable building codes but must compliment the architectural style of the residence. Approved materials are wood, iron, or appropriate combinations of the above. Code height requirements are not to be exceeded; and wherever allowable, it is recommended to have no railings.

BUILDING HEIGHT

Structure heights may not exceed forty-five feet (45') above the finish floor. Limits are two and one half (2 1/2) stories. First floor minimum ceiling height for residences is 10 feet (10') above finished floor. Design of the residences will have to take into consideration the existing trees, limb heights, and foliage. Trees or tree limbs may not be cut or trimmed to accommodate construction unless approved by the Architectural Review Committee.

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EXTERIOR WALLS

Approved exterior wall finishes are painted or stained wood siding, brick, metal lath stucco, or other approved materials. No synthetic stucco systems will be permitted. Aluminum and vinyl siding are not permitted. Stone may be used at foundations and column bases only.

Only two (2) exterior finish materials shall be applied to sides of the exterior house and approved detached buildings. Proper screening compatible with the finish material is required where breakaway walls are required.

No simulated brick or stone is permitted. No exposed concrete walls or blocks will be permitted. No unstained or unpainted siding or trim will be permitted. Color of exterior walls and accent colors will be carefully reviewed for overall consistency and compatibility throughout the neighborhood. No color extremes will be permitted.

ROOF AND EAVES

The following roof designs are permitted: hip, gable, and dutch-hip. No geodesic domes or "A" frames will be allowed.

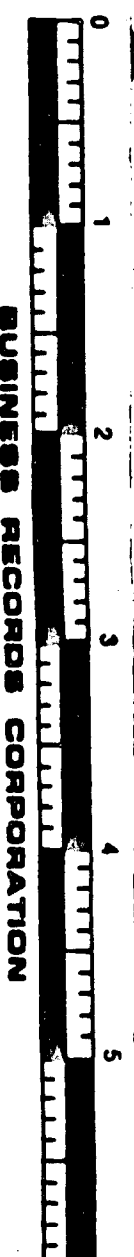
Minimum roof pitch is a six-inch (6") rise in a twelve-inch (12") run on primary residences. A four-inch (4") rise in a twelve-inch (12") run may be constructed over porches as approved by the Architectural Review Committee. Flat roofs may be approved as long as the majority of the primary structure's roof meets minimum pitch requirements.

Acceptable roofing materials are metal-standing seam, copper or 5V-crimp, natural or synthetic slate, wood and synthetic shake, or dimensional asphalt shingles. Colors must be compatible with the architectural style and neighborhood aesthetic intent.

Eave drips or other metal flashing shall be naturally weathered copper. No roof penetrations for plumbing, heating vents, or fans will be permitted on the front side of the roof. All roof penetrations shall be painted the same color as the roofing material. Interlacing shingles are required on all valley flashing where applicable.

All rafter tails must be left exposed with special attention paid to the aesthetic and proportion of the members being consistent with the architectural style of the development as well as the house structure. Roof forms and slopes are indicated by the architectural style of the house. No random or inconsistent rooflines will be permitted.

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CHIMNEYS

All chimneys must have wood or masonry finish materials that are compatible with the chosen veneers. Exposed prefabricated chimney caps are not acceptable. The Architectural Review Committee must approve all chimney caps and covers. No prefabricated metal flue caps will be permitted without an approved cap screening treatment.

DOORS

Entrance doors shall be representative of the structure's architectural style including sidelights and transoms. Accepted elements are solid wood doors with divided glass panels, raised wood panel doors ranging from two to six panels, or solid wood with metal frame with solid glass panel. Flush or metal doors will not be permitted. Sliding doors are not allowed on elevations visible to the street, front, or side on corner units. Storm doors are not permitted. Screen doors are not permitted on any doors on a street elevation.

WINDOWS, SHUTTER, AND DORMERS

All windows should be wood or vinyl clad wood. Clear glazing is required; no tinted or reflective glass will be permitted. Stained, beveled, or leaded glass windows are permitted but must be approved by the Architectural Review Committee. Muntin or lile patterns consistent with the vernacular architectural style are encouraged.

All shutters must be operable with construction and hardware being compatible with the architectural style of the residence.

Proper scale and proportion are required for dormers. Exterior finish material should match or be compatible with the exterior finish of the house. Roofing materials for dormers must match the roof material of the house.

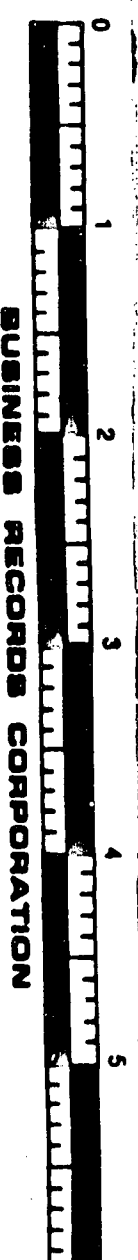
ORNAMENTS

Only those decorative elements true in historical reference to the particular architectural style will be permitted. Only items essential to the function or architectural expression of the house will be allowed. False vents and false windows that are shuttered will be allowed as approved by the Architectural Review Committee.

MECHANICAL EQUIPMENT

Outside air conditioning units must not be located in the front yard. They may be located in the side yard if screened from the street and neighbors' views. Approved screening is an integral part of the architectural design, not a building appendage.

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No exposed piping, electrical or heating/air conditioning system components will be permitted, landscape installation shall be enough to screen immediately. No window air conditioners will be permitted.

SITE AND LAWN FURNISHINGS

No accessory or lawn furnishings are permitted in any front yard, such as birdbaths, birdhouses, frog ponds, flagpoles, lawn sculptures, or artificial plants. All fixed play structures are subject to approval by the Architectural Review Committee and must be located at the side or rear of the house. Proper visual screening is required on corner units to keep play structures visible from any street. Tree houses or platforms shall not be constructed without written approval of the developer and the Architectural Review Committee.

FENCING

Fencing shall coordinate in style and materials with the home. All front yard fencing shall be no more than 30" above grade. Rear and side yard fencing shall be a minimum of 30" and a maximum of 96". Fencing in the front yard must be a maximum of 30" above grade. Approved fencing materials are: iron, wooden picket, brick and iron combinations. Stone will be permitted as a low wall in combination with wrought iron as long as it is appropriate and coordinates with the respective architectural style of the house. No solid-stacked stone walls will be allowed. All wooden elements must be painted or stained with detailed tops at intermediate posts. Chain link fences are prohibited.

SIDEWALKS

Main entry sidewalks connecting street sidewalks to the front porches are required to be a minimum of 4' wide using only approved materials of smooth concrete, scored stained concrete, brick, gravel, or pavers. In order to provide access during construction, some street side sidewalks were not installed. On these units, after construction is complete, the unit owners will be required to install sidewalks on the street side of their property where indicated by the master plan.

TREE PRESERVATION

Removal of any Live Oak trees greater than 12" in diameter, measured 4' above the ground around the tree is prohibited. All limbing of trees must be submitted for approval in the Preliminary Review submittal. It is our intention to save as many existing trees as possible. When it is necessary to raise the grade around a tree, prevent the soil from contacting the bark. Rock or drywall walling should be installed to protect the trunk. Consideration should be made to any root system of existing trees when changing existing conditions.

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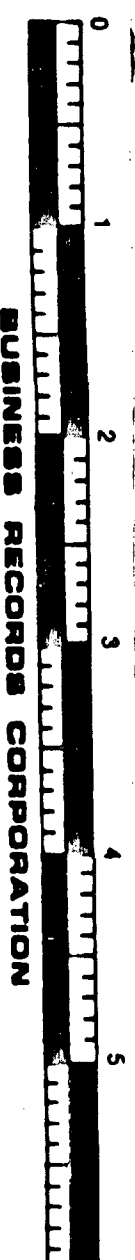


In order to maintain the native foliage of the area, the following approved planting list has been compiled. Any plant found to be native must be submitted to the Architectural Review Committee for approval.

APPROVED LANDSCAPING PLANTING LIST

Trees: Bradford Pear		Sweet Gum	Cherrybark Oak	Willow Oak
Red Maple		Tulip or Yellow Poplar	Laurel Oak	Slash Pine
Southern Sugar Maple		Cucumber Tree	Live Oak	Pond Cypress
Horse Chestnut		Sycamore	Nuttall Oak	Bald Cypress
River Birch		Japanese Magnolia	Pin Oak	Winged Elm
Shagbark Hickory		Southern Magnolia	Scarlet Oak	Drake Elm
American Beech		Sweet Bay Magnolia	Shumard Oak	Weeping Willow
Green Ash		Tupelo Gum	Southern Red Oak	Dogwood
Gingko		Black Gum	Swamp Chestnut Oak	Crape Myrtle
Black Walnut		Flowering Cherry	White Oak	Treeform Ligustrum
				Treeform Sasanqua
Groundcover: Asiatic Jasmine		Vines: Carolina Yellow Jasmine	Grasses: Bermuda	
Dwarf Gardenia		Confederate Jasmine	Centipede	
Emerald Sea Juniper		English Ivy	St. Augustine	
Green Liriope		Fig Vine	Zoysia	
Monkey Grass			(Bahia not allowed)	
Variegated Liriope				
Shrubs:				
Large		Medium	Small	
Sweet Olive		Dwarf Burford	Dwarf Nandina	
Burford Holly		Dwarf Azalea	Gumpo Azalea	
Oleander		Cleyera	Helleri Holly	
Russian Olive		Willow Leaf Holly	Dwarf Yaupon	
Native Azalea		Raphiolepis Indica	Dwarf Raphiolepis	
Viburnum		Hydrangea	Boxleaf Holly	
Pittosporum		Fatsia	Dwarf Chinese Holly	
Ligustrum		Nandina	Compacta Holly	
Wax Myrtle				

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LANDSCAPING

It is recommended that type A, A1, B and C units plant three (3) trees of a variety on the approved landscape list of a minimum size of 10' in height. Type D units are recommended to plant two (2) trees of a variety on the approved landscape list of a minimum size of 10' in height.

Each homeowner is required to fully landscape and maintain his unit according to the approved plan submitted to the Architectural Review Committee. Grassed areas are to be fully sodded, not sprigged or plugged. Landscape plans must include front yard, rear yard, and side yards. Only fully sodded areas between the curb and the sidewalk will be permitted. No other planting will be permitted in this area. Private irrigation wells will be allowed with housings in compliance with the outbuilding guidelines.

Any proposals for the removal of unwanted specimen trees and/or extensive use of plant with forms or colors that are not native to the area will not be approved.

In order to locate a patio or deck, it is important to know and complement the physical aspects of the unit as well as requirements. The materials used should be consistent or complement the architectural style of the house. Brick, stone, tile, wood, or scored stained concrete is recommended. Areas under decks, patios, and porches shall not be open to view. To enclose the underside, the approved exterior finish building material of the house, other approved exterior finishes or painted latticework shall be used. Landscaping alone will not provide adequate screening.

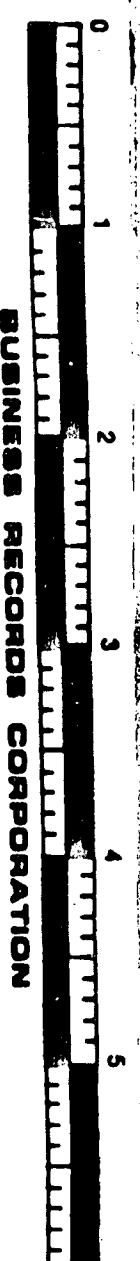
All landscape maintenance work will be allowed on weekdays only (including cutting grass). No gas or diesel powered lawn maintenance equipment will be allowed on weekends. All yard work conducted with electrical equipment must be done between the hours of 10:00 a.m. and 5:00 p.m.

LANDSCAPE AND OUTDOOR LIGHTING

All landscape and outdoor lighting must protect neighboring properties from view of bright light sources. Whenever possible, required incandescent lighting should be integrated into such elements as eaves, overhangs, and exterior walls or on freestanding posts on the street side.

No floodlights are allowed to be attached to the soffit on any elevation of the house facing the street. It is recommended to use accent tree lighting fixtures directed up into tree foliage that will provide low intensity illumination. All landscape lighting should be hidden from view and must be unobtrusive in appearance. No color lenses or lamps will be allowed. No metal halide or mercury vapor light will be allowed.

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DRIVEWAYS

No curb cuts will be allowed on the front of units 1-26 and 35-43. (See pages 35-40 for specific driveway placements.)

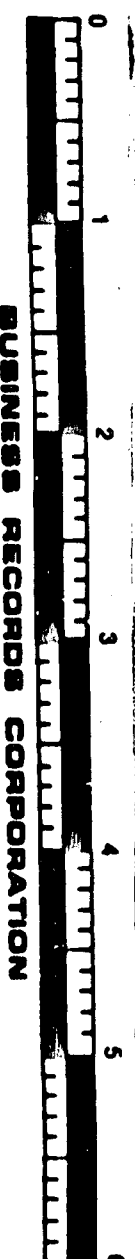
All driveways and parking areas shall be surfaced with gravel, brick, brick pavers, or other materials approved by the Architectural Review Committee. No asphalt or smooth concrete driveways will be allowed. Driveways shall be a minimum of 9' in width. Driveways must have a minimum 3' wide green space from the driveway edge to the adjacent property.

If damaged during construction, all curbs, aprons, roadways, and sidewalks, on or off residential units, shall be repaired to their original quality by the unit purchaser.

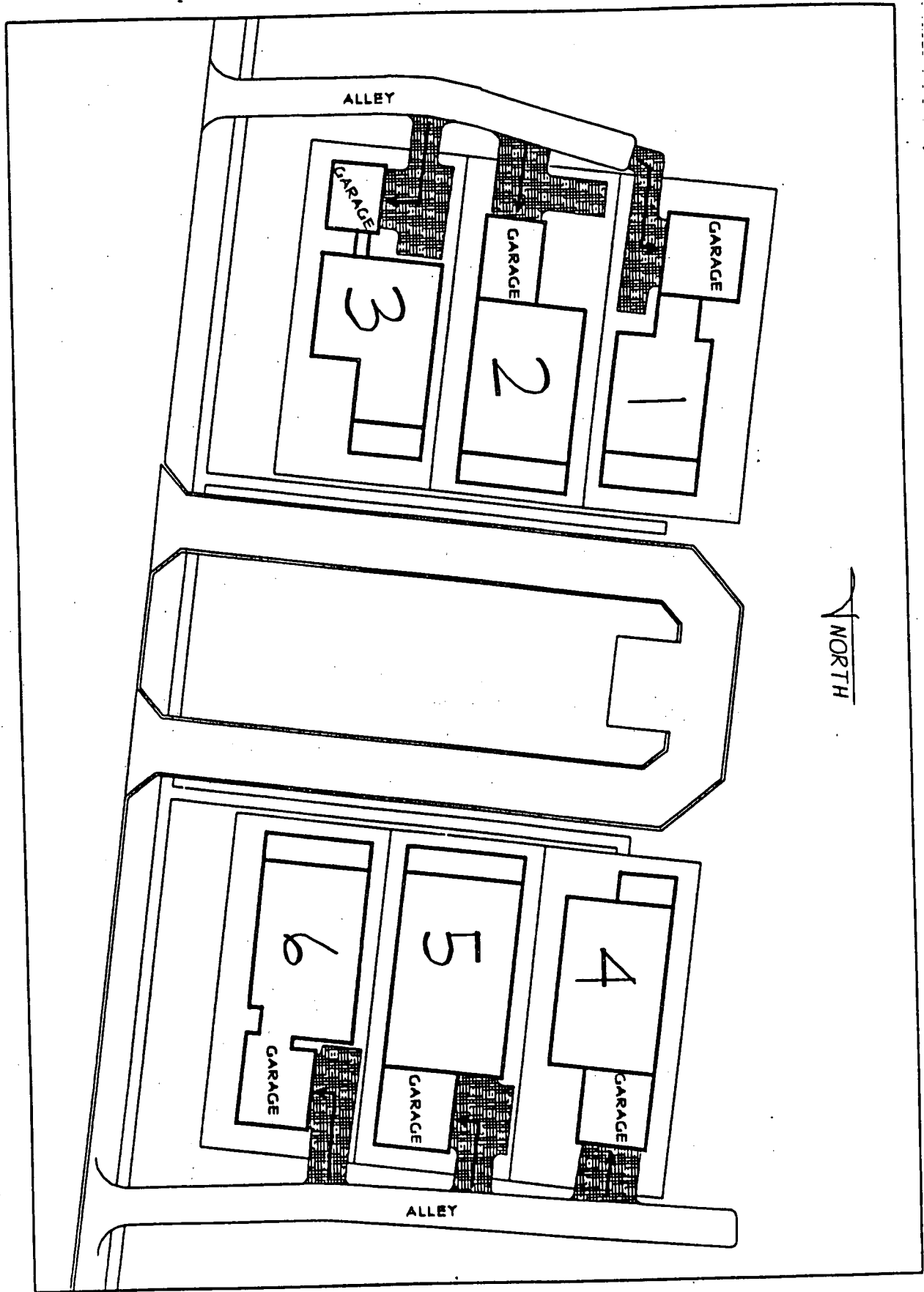
GARAGES AND CARPORTS

All residences are required to have accommodations for parking in the form of a carport or garage for a minimum of two (2) automobiles. All garages shall have doors and should not face the street or side street on corner units unless approved by the Architectural Review Committee. Garage doors are required to be wood, wood clad, and either stained or painted with operable mechanisms as to allow overhead retraction or carriage style swing openers. Garage doors shall be closed at all times when not in use. Carports must be screened from street or alley views, and remain free from clutter and may not be a primary open storage space.

Apt Bk 21 Pg 52



DRIVEWAY PLACEMENT FOR UNITS 1 - 6



UNITS 3 AND 6 ONLY ARE RESTRICTED TO SIDE
LOADING GARAGES AND PLACED ALONG
THE WEST SET BACK LINE.

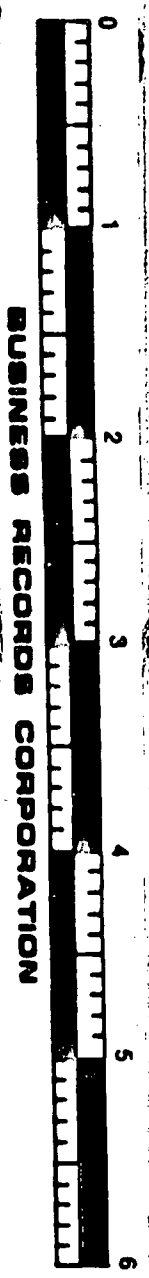
RESTRICTIONS AND SPECIFIC REQUIREMENTS
ARE LISTED IN THE BUILDING DESIGN AND
CONSTRUCTION SECTION OF THE GUIDELINES BOOKLET.

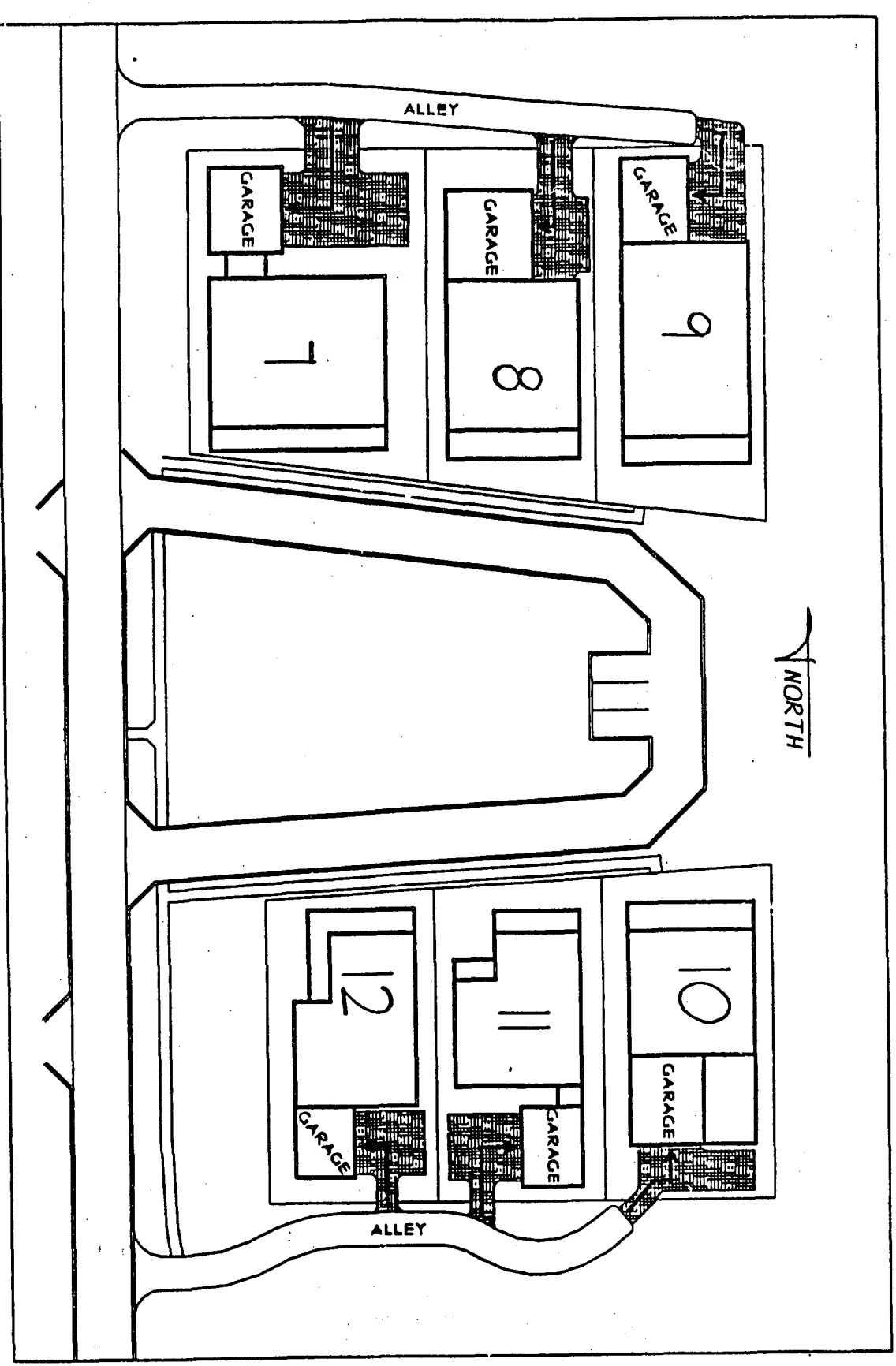
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON

35

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Apt Bk 21 Pg 53





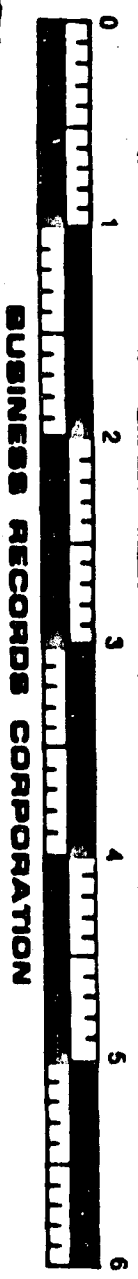
DRIVEWAY PLACEMENT FOR UNITS 7 - 12

UNITS 7 AND 12 ONLY ARE RESTRICTED TO SIDE
LOADING GARAGES AND PLACED ALONG
THE WEST SET BACK LINE.

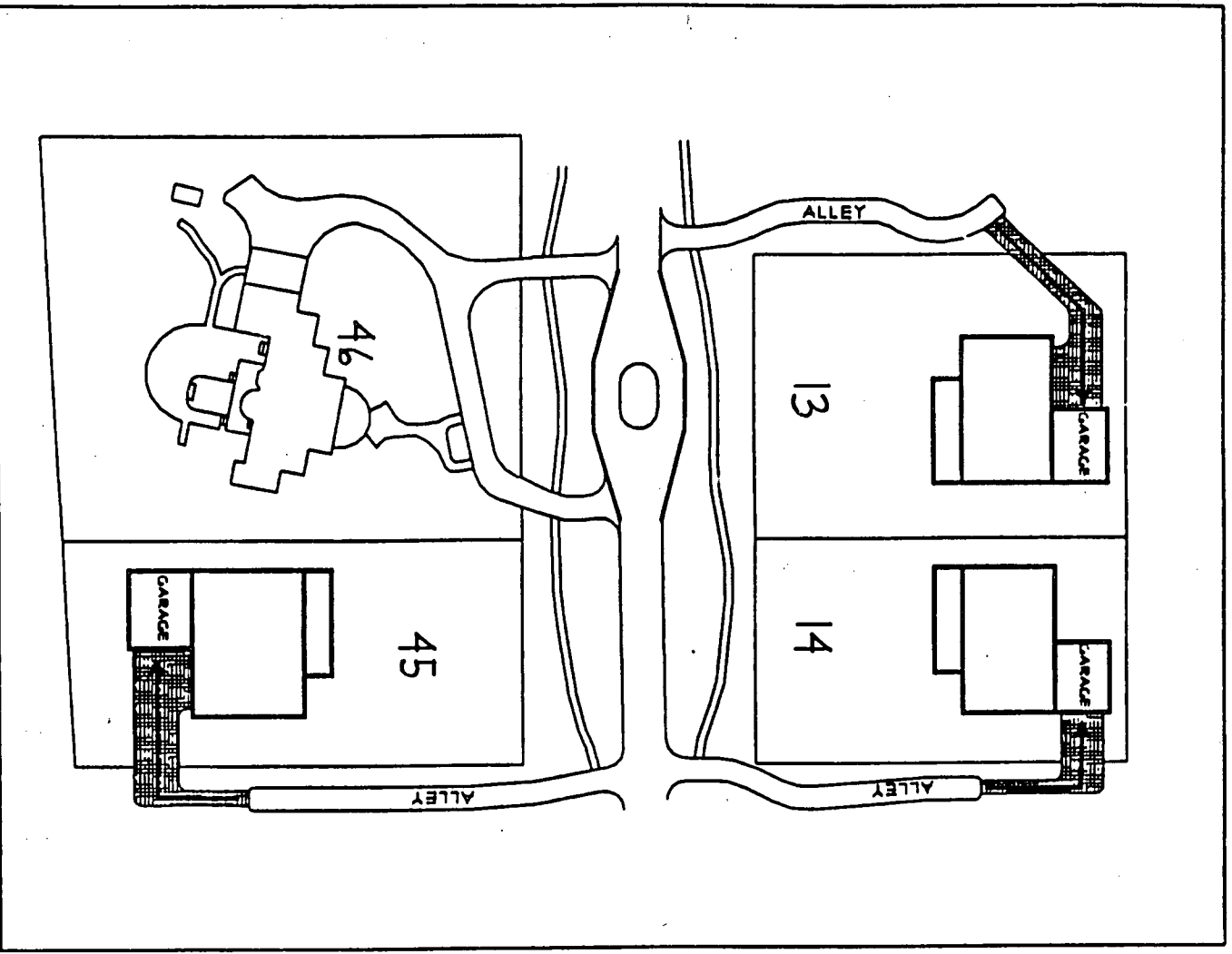
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON
PRESERVATION OF NATURAL FEATURES ON THE UNIT.

RESTRICTIONS AND SPECIFIC REQUIREMENTS
ARE LISTED IN THE BUILDING DESIGN AND
CONSTRUCTION SECTION OF THE GUIDELINES BOOKLET.

Apt Bk 21 pg 54



NORTH



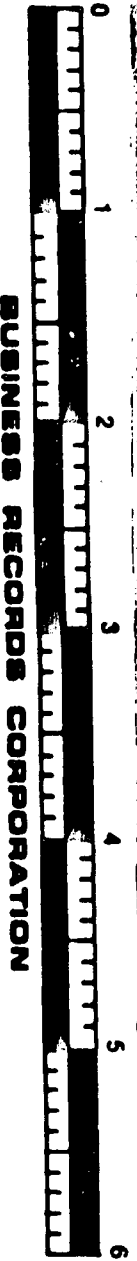
ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT.

DRIVEWAY PLACEMENT FOR UNITS 13-14 & 45-46

37

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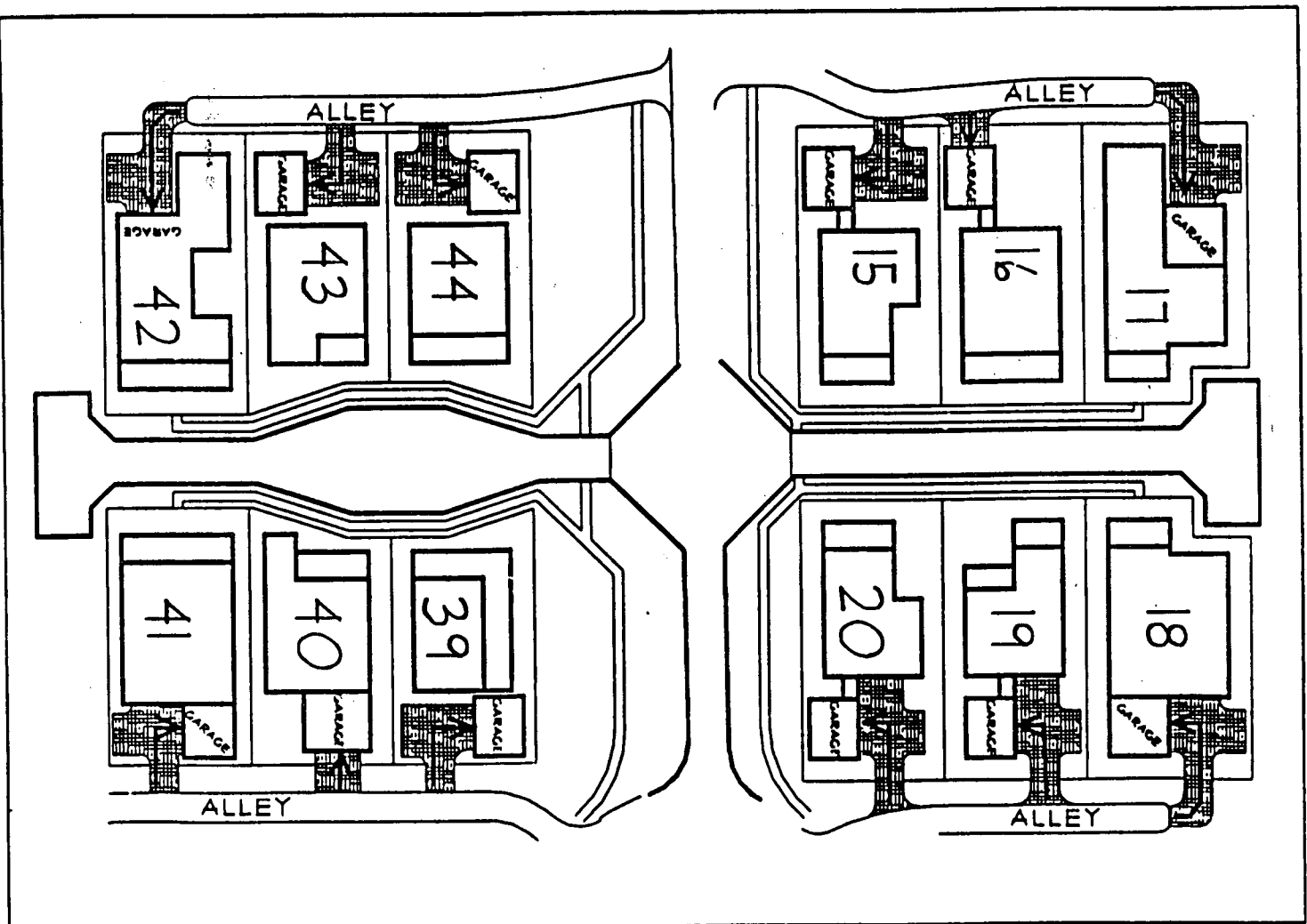
NORTH

UNITS 15 AND 20 ONLY ARE RESTRICTED TO SIDE
LOADING GARAGES AND PLACED ALONG THE
WEST SET BACK LINE.

UNITS 39 AND 44 ONLY ARE RESTRICTED TO SIDE
LOADING GARAGES AND PLACED ALONG THE
EAST SET BACK LINE.

RESTRICTIONS AND SPECIFIC REQUIREMENTS
ARE LISTED IN THE BUILDING DESIGN AND
CONSTRUCTION SECTION OF THE GUIDEBOOK.

ALTERNATE LAYOUTS MAY BE SUBMITTED
FOR APPROVAL BASED ON PRESERVATION
OF NATURAL FEATURES ON THE UNIT.

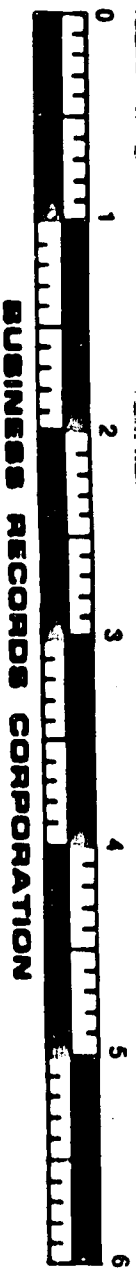


DRIVEWAY PLACEMENT FOR UNITS 15-20 & 39-44

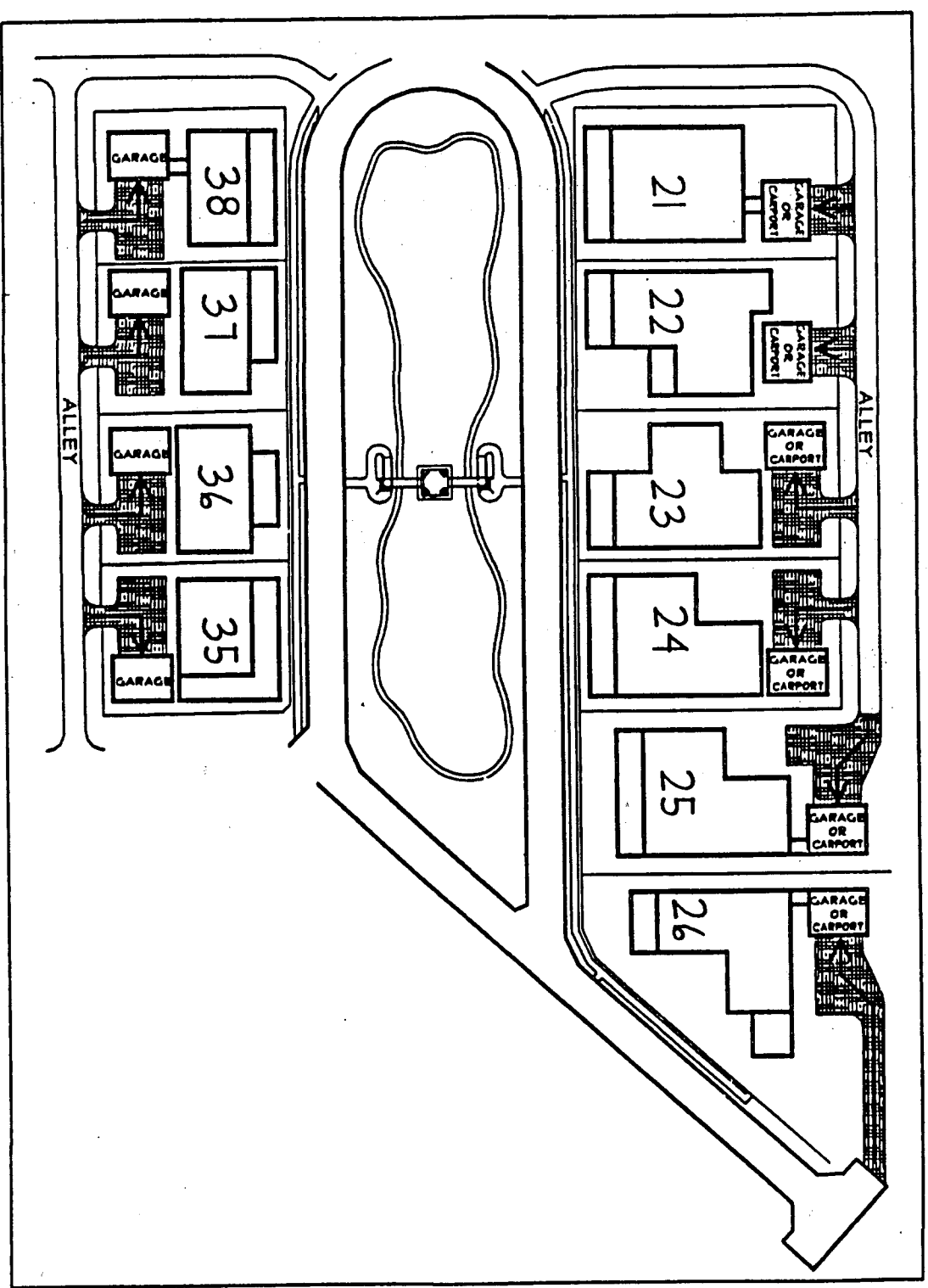
38

Instrument 566592 Page 45 of 69

Appt Bk 21 Pg 56



NORTH

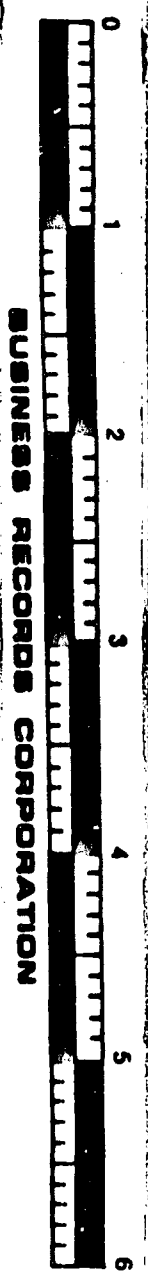


ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION OF NATURAL FEATURES ON THE UNIT OR IRREGULAR BUILDABLE AREAS ON THE UNIT.

UNITS 21, 25, & 35: GARAGE MUST BE ALONG THE SOUTH SETBACK LINE
UNITS 22-24, & 36-37: OPTIONS ALONG THE AVAILABLE BUILDABLE AREA
UNITS 26 & 38: GARAGE MUST BE ALONG THE NORTH SETBACK LINE

DRIVEWAY PLACEMENT FOR UNITS 21-26 & 35-38

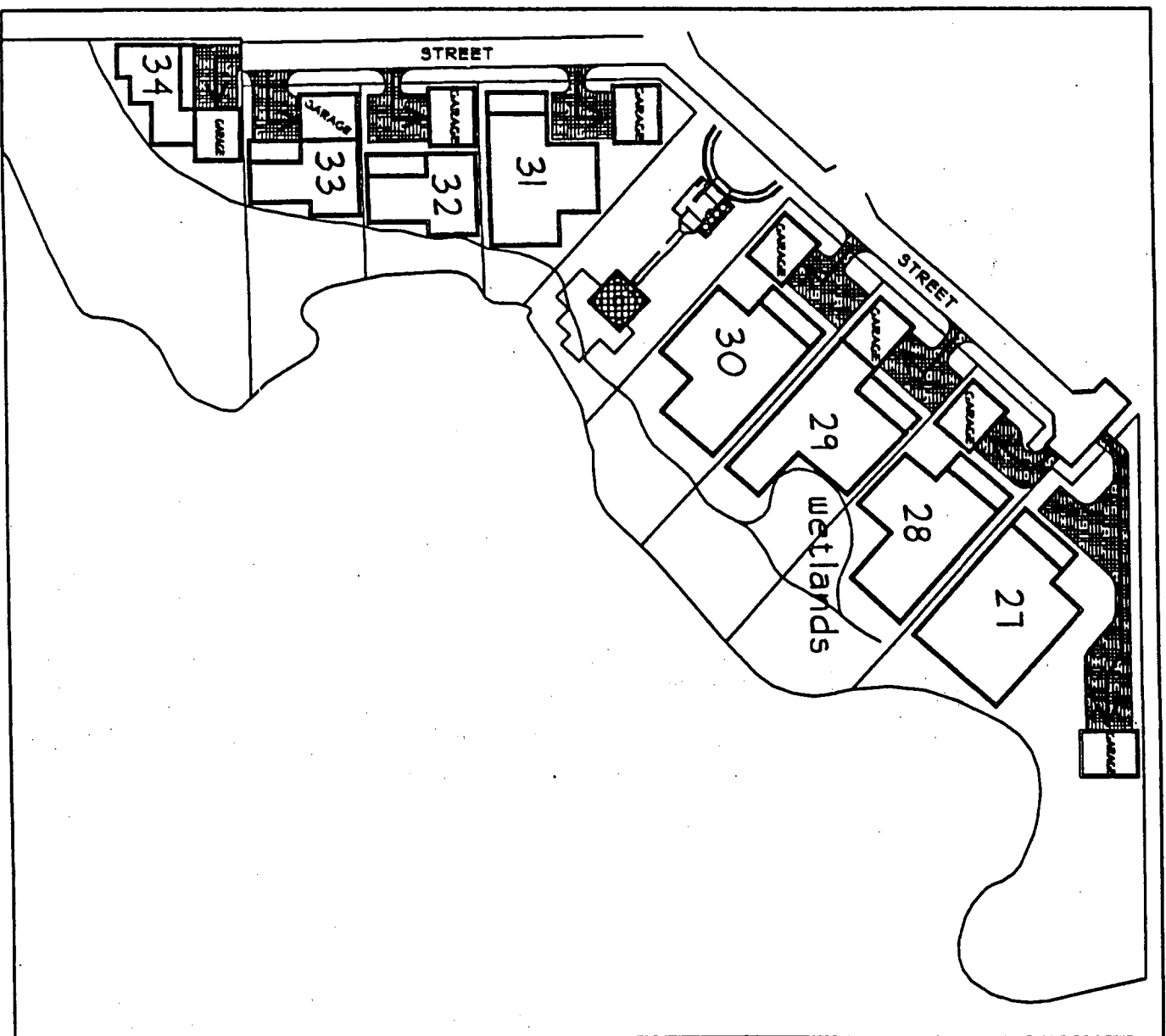
Appt Bk 21 pg 57





UNITS 28-30: GARAGE MUST BE
ALONG THE WEST SETBACK LINE

UNITS 31-33: GARAGE MUST BE
ALONG THE EAST SETBACK LINE



ALTERNATE LAYOUTS MAY BE SUBMITTED FOR APPROVAL BASED ON PRESERVATION
OF NATURAL FEATURES OR IRREGULAR BUILDABLE AREAS ON THE UNIT.

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OUTBUILDINGS

Outbuildings must be located to the side or rear of the principal structure within the building setbacks. Any permitted accessory structures, such as detached garages, carports, carriage houses, workshops, guest cottages, storage sheds or pool houses, must incorporate design elements, materials, finishes, and colors compatible with the architectural style of the house. Covered walkways to accessory structures are encouraged where appropriate. All outbuildings and structures have to be shown on the preliminary site plan, which has to be submitted and approved by the Architectural Review Committee.

Piers, boatlifts, and boathouses will only be allowed South of the retaining wall on units 27-33. All piers, boatlifts and boathouses must be approved by federal, state, and local authorities not limited to the Corps of Engineers. Any structures located on the water edge, including but not limited to piers, boatlifts, and boathouses, shall be built on the same side as the garage and follow the setback restrictions. All piers, boatlifts, boathouses, and accessory structures are subject to review and final approval by the Architectural Review Committee. The developer or its representatives are making no guarantees or implied approvals for waterfront structures. Structures on unit 34, including a boathouse, may extend over the retaining wall and are subject to all federal, state, and local approvals and permits.

Doghouses are considered accessory structures and may not be visible from any roadway. All development fencing and outbuilding regulations pertaining to materials and design apply to all animal enclosures as well.

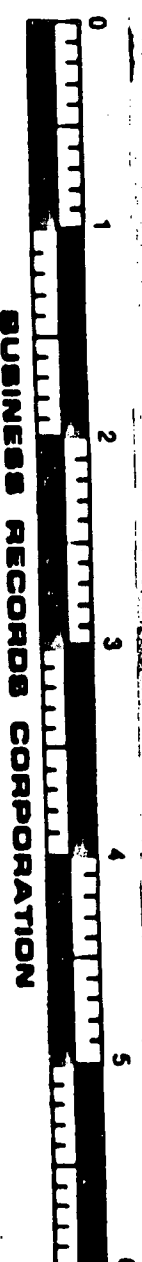
POOLS, SPAS, AND TENNIS COURTS

The form and configuration of a pool or spa should reflect the architectural character of the residence. Due to potential damage to natural features, the Architectural Review Committee will review each proposed pool or spa on an individual basis. No above ground pools or freestanding spas will be allowed. No overhead enclosures will be allowed over pools or spas.

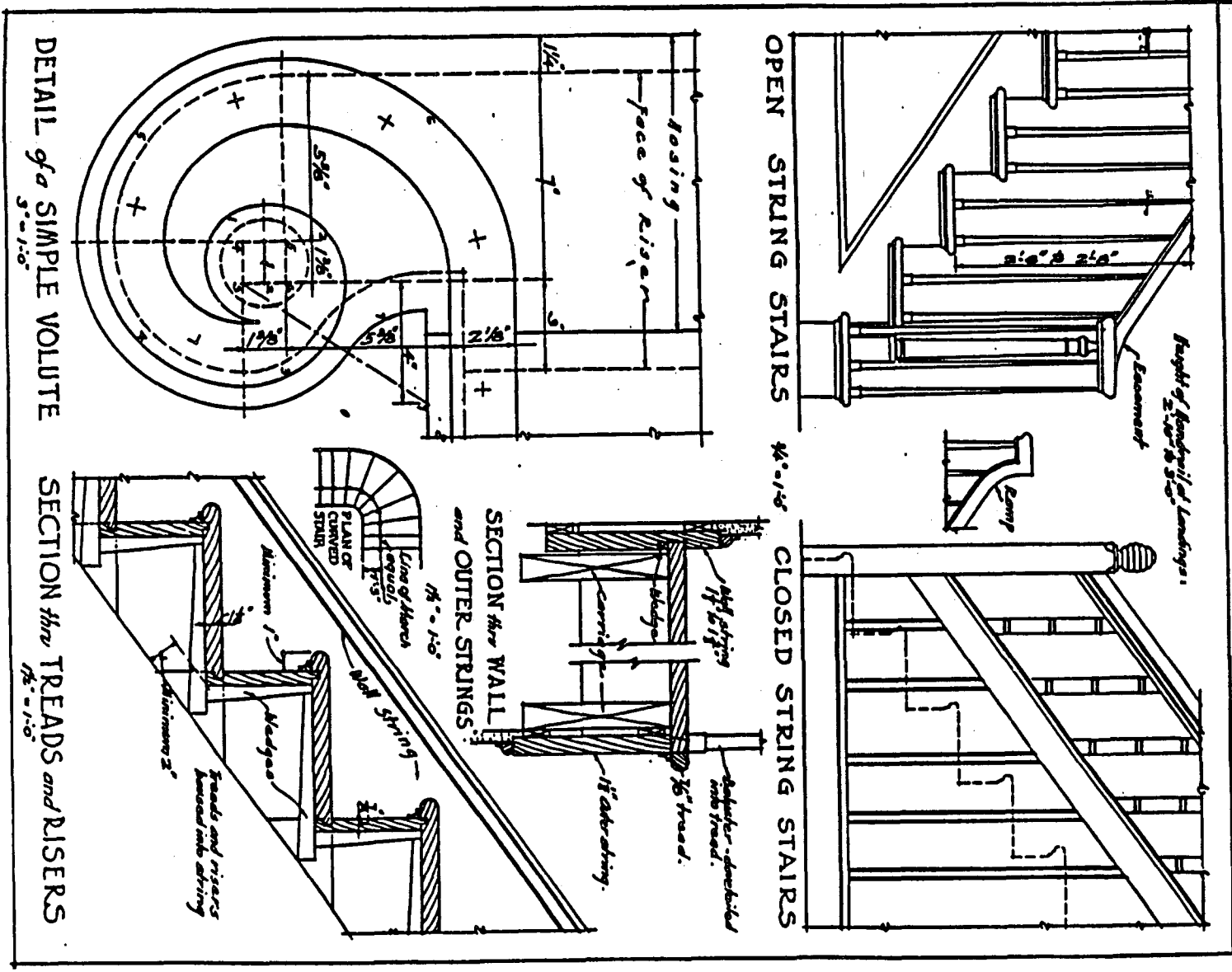
All pool mechanical equipment shall be enclosed in a structure compatible with the architectural style of the residence. Pool decking is to follow the guidelines of the approval patio and deck materials. Fencing, compatible with the architectural style of the residence that also gives a visual screen from the roadway, is required around all pools and spas. All elements concerning outdoor spas or hot tubs such as site location, size, shape, and decking must be submitted for approval to the Architectural Review Committee.

Individual tennis courts are not permitted.

APR 21 PM 59



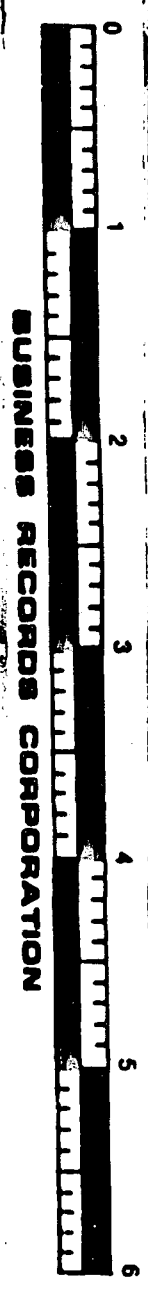
Architectural Graphic Standards, Charles George Ramsey and Harold Reeve Sleeper, Third Edition Copyright © 1947 Reprinted by permission of John Wiley and Sons, Inc.



CONSTRUCTION GUIDELINES

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CONSTRUCTION ACCESS

All unit owners will be provided a construction access code upon Final Review approval. All contractors, under contract to build in *The Commons*, will be required to sign a document stating they have been made privy to the Guidelines Booklet, its building and construction regulation, and that they agree to uphold all stated regulations (see page 59). Unit owners are responsible for providing their contractors and crews all access security codes for the main gate.

CONSTRUCTION GUIDELINES

All construction work shall limited to weekdays beginning no earlier than 7:00 a.m., and ending no later than 6:00 p.m.

All delivery of goods to the jobsite shall be alley access *only*. Contractor parking shall be limited to alleyways and on the premises of the riverfront units only. Construction parking on brick pavers or aggregate roadways is strictly prohibited.

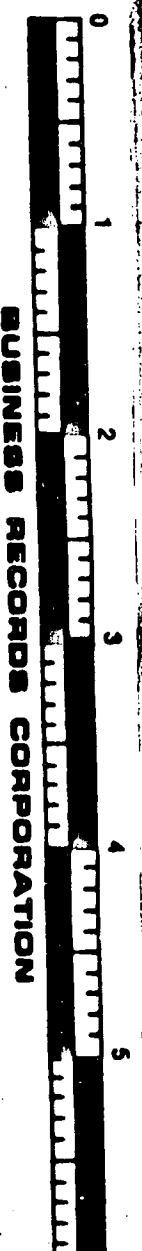
All curbs, aprons, roadways, drainage equipment above or below grade, sidewalks, landscape items, electrical conduit, all utility equipment, street lights, public structures or gates on or off residential units, shall be repaired to their original quality by the unit purchaser if damaged during construction.

Runoff construction may not cause damage to adjacent properties. All erosion control should follow ADEM standard control practices. There shall be no direct channeling of runoff into wetlands from home rooftops or other impervious surfaces unless an approved method of filtration is provided.

All reasonable means should be taken during and after construction to protect and preserve existing vegetation. All architect and contractor company signs may be displayed for a period of twelve (12) months or until completion of construction, whichever occurs first. Any other signs such as material suppliers, subcontractors, etc., other than developer signs, will not be permitted.

Contractors must be licensed in the state of Alabama and all permits must be posted and protected from weather. All construction personnel must follow all OSHA rules and regulations. All accidents are to be reported to the appropriate authorities as soon as possible after the incident occurs. All construction vehicles must comply with applicable status laws, re: inspections, licensing, and authorization for operation. Contractors must provide toilet facilities for the workers on the jobsite in a discrete location. Boards or any other material shall not be nailed to trees during construction.

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During construction, all trash debris, and waste shall be contained daily in the on-site dumpster which is required during construction. The developer, in the case of individual units not having available space, will provide a common container. No burning of debris is allowed. The construction site should be cleaned daily and if necessary, the condominium owners' association (The Association) reserves the right to have the site cleaned as needed due to comply with foregoing, and the owner will be charged for the cost. Radios, tape players and similar equipment must be regulated as to not create possible noise nuisance for adjacent homeowners. The use of intoxicants and drugs is strictly prohibited. Any contractor found to be in obvious nonconformance of these regulations may be denied access and work may be suspended.

Reviews during construction will be conducted by the Architectural Review Committee to ensure conformance with the approved drawings. Any change order drawings made during construction must have approval prior to changes being made. Major changes must be resubmitted for approval. Final inspection will be made after contractor has completed construction, including landscaping, and the Architectural Review Committee notified of a finish date.

The Association and their directors, officers and agents, the Architectural Review Committee, the developer and their agents assume no responsibility for reviewing construction in progress for compliance with any codes. The owner assumes full liability for failure of construction to comply with approved documents.

CONSTRUCTION SCHEDULE

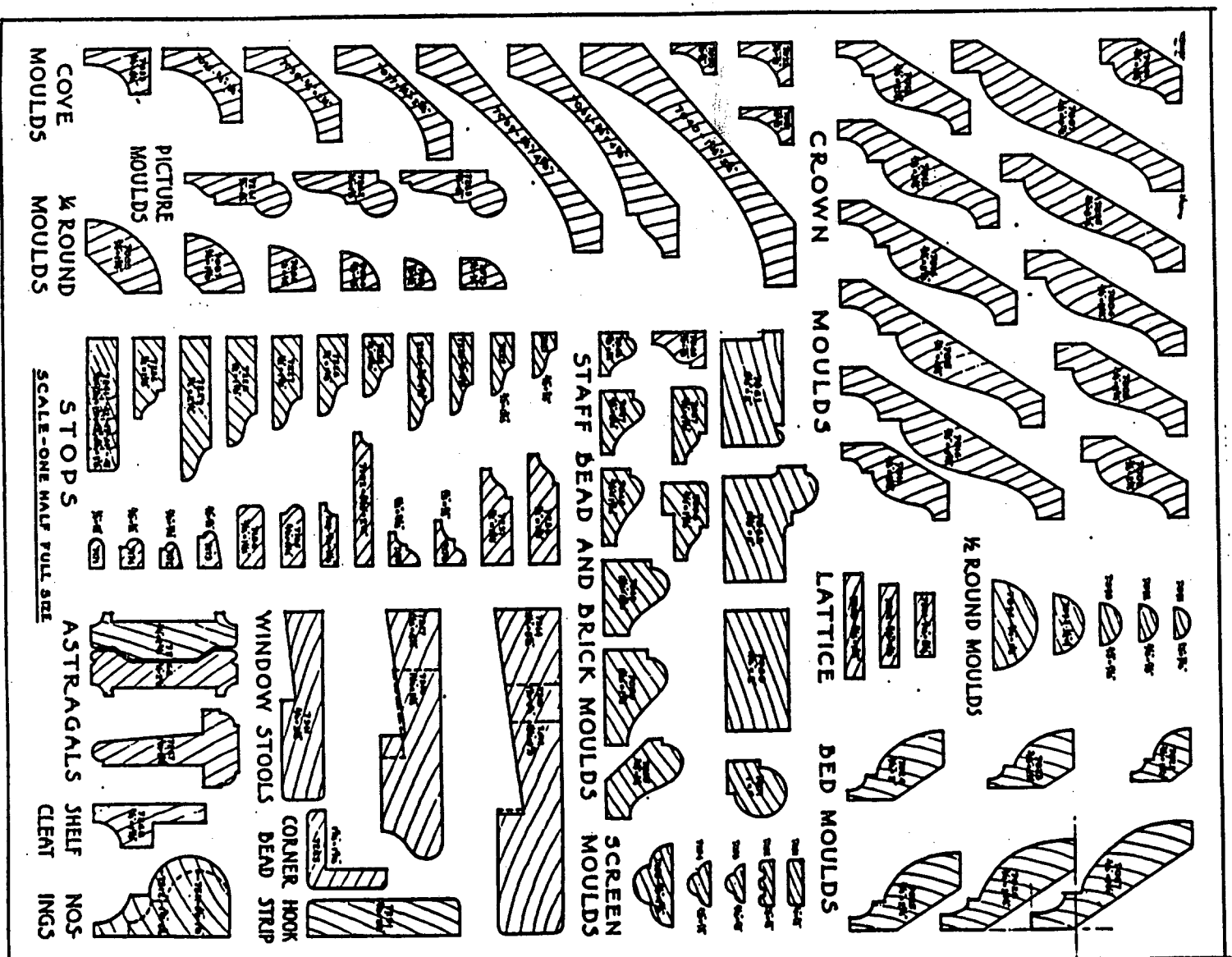
Construction must begin within six (6) months after plan approval. If construction has not begun within this time period, a new submission for final approval is required with an additional submission fee.

Completion of construction, which is receipt of the certificate of occupancy of the structure, should be completed within twelve (12) months of the actual initiation of construction. Approved landscaping must be in place upon construction completion, which is receipt of the certificate of occupancy.

Apt Bk 21 Pg 62



BUSINESS RECORDS CORPORATION



SCALE-ONE HALF FULL SIZE

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REVIEW ADMINISTRATION

Appt BK 21 Pg 63



BUSINESS RECORDS CORPORATION

REVIEW PROCESS SCHEDULE

Each submission phase must be accompanied by the required information outline in the process checklist to be scheduled for review. Once the checklist and the submittal are complete, the review will be completed in approximately two (2) weeks. The results will be mailed to the owner and the developer for filing. All results of the Architectural Review Committee reviews will be given in writing only.

DISAPPROVAL

Plans submitted for review, or any portion thereof, may be disapproved upon any grounds, which are consistent with the objectives of *The Declaration of Condominium of The Commons, A Condominium* and the Architectural Guidelines Booklet. These may include aesthetic considerations so long as grounds are reasonable and not arbitrary.

FUTURE IMPROVEMENT REVIEW SUBMITTAL

No future modification of any existing building, landscape improvements, or new construction may be started without prior review and written approval of the Architectural Review Committee. Submittal for future improvements must include a site plan and elevations with the location of improvements shown to scale, and a letter of intent describing the elements and purpose of the improvements. All material and color samples matching existing materials as well as improvements will be required on a color board. If the improvements are submitted more than eighteen (18) months after the date of the Final Review approval, there will be an additional submittal fee of two hundred dollars (\$200.00).

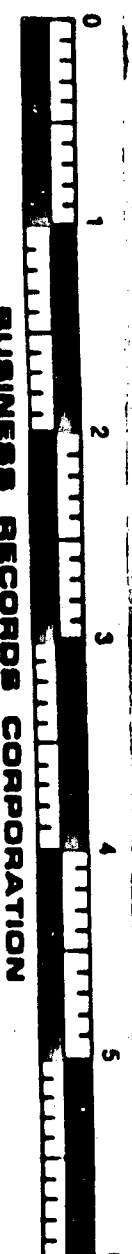
REVIEW PROCESS SUBMITTAL INSTRUCTIONS

The review process has two (2) separate, but equal parts, and we have broken them down into the Preliminary Schematic Review and the Final Review. All submitted drawings and review materials must have the unit number and owner's name clearly visible.

Preliminary Schematic Review requirements are a site plan and four (4) elevations. The specific drawing requirements are stated in the General Information section of the Guidelines Booklet. Upon completion of the site plan and elevations, package or attach the drawings with the submittal cover sheet provided in the back of the Guidelines Booklet. Faxes will not be accepted for any information for the Preliminary Schematic Review or the Final Review. Hand-deliver or mail the submittal package to the offices of Blackwell Brooks Reid, Inc.

Final Review requirements and detailed descriptions of drawings required for submittal are listed in the General Information section of the Guidelines Booklet. Final Reviews will be completed and postmarked within thirty (30) business days of receiving a complete submittal package. The Final Review approval form will be mailed to the unit owner and the developer. Any questions and/or discussions regarding an approval or disapproval, pending revisions will be discussed by appointment only at the architectural offices of Blackwell Brooks Reid, Inc.

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PRELIMINARY REVIEW SUBMITTAL INFORMATION SHEET

Preliminary Schematic Review _____ Unit # _____

Submittal Date _____ Review Date _____

Owner Name _____

Address _____

Phone _____

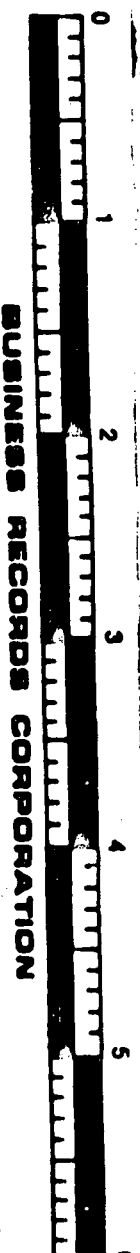
Contractor Name _____

Contact _____

Address _____

Phone _____

APT BK 21 PG 45



PRELIMINARY REVIEW SUBMITTAL FORM

Owner _____ Unit # _____ Phase _____

Submittal Date _____ Review Date _____

SITE PLAN

- | | Yes | No | N/A | N/S |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Site plan submitted with a legible scale and the unit number clearly labeled | ☐ | ☐ | ☐ | ☐ |
| b) Building type requirements and square footage clearly labeled | ☐ | ☐ | ☐ | ☐ |
| c) Structures and all outbuildings placed on unit to meet criteria | ☐ | ☐ | ☐ | ☐ |
| d) Walks, driveways, alley access, decks, and patios shown with dimensions and materials indicated | ☐ | ☐ | ☐ | ☐ |
| e) All existing trees and vegetation shown | ☐ | ☐ | ☐ | ☐ |
| f) Sidewalk shown and dimensioned a min. of 4' wide in correct location on unit | ☐ | ☐ | ☐ | ☐ |
| g) All fencing shown in correct location on unit and meets guideline requirements with sketch elevation | ☐ | ☐ | ☐ | ☐ |
| h) Utilities point of attachment and equipment screening shown | ☐ | ☐ | ☐ | ☐ |
| i) Exterior lighting types and locations indicated | ☐ | ☐ | ☐ | ☐ |
| j) North arrow indicated | ☐ | ☐ | ☐ | ☐ |

SCHEMATIC ELEVATIONS

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Schematic elevations submitted on an 8 1/2" x 11" format with a legible scale | ☐ | ☐ | ☐ | ☐ |
| These drawings may be hand sketched or hard-line drawn. | | | | |
| b) All four (4) elevations submitted | ☐ | ☐ | ☐ | ☐ |
| c) Floor level expressed in detailing of exterior | ☐ | ☐ | ☐ | ☐ |
| d) Chimney constructed with appropriate materials with cap | ☐ | ☐ | ☐ | ☐ |
| e) Are front porch details within architectural guidelines? | ☐ | ☐ | ☐ | ☐ |

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- f) Door and window trim meet guideline requirements

☐☐☐☐☐☐
- g) Doors representative of the architectural style and meet guideline requirements

☐☐☐☐☐☐
- h) Any fencing shown in correct location on unit and meets guideline requirements

☐☐☐☐☐☐
- i) Utilities point of attachment and equipment shown

☐☐☐☐☐☐
- j) Exterior lighting types and locations indicated

☐☐☐☐☐☐
- k) North arrow indicated

☐☐☐☐☐☐

The status of the submitted drawings is:

_____ APPROVED _____ APPROVED AS CORRECTED

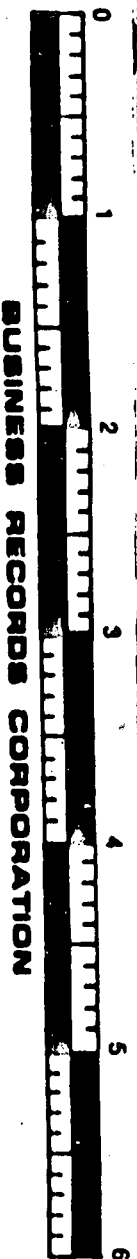
_____ NOT APPROVED _____ REVISE AND RESUBMIT

By: _____ Date: _____
Blackwell Brooks Reid, Inc.

By: _____ Date: _____
The Commons

(Two signatures are required before the approval process is complete.)

Apt Bk 21 pg 67



FINAL REVIEW SUBMITTAL INFORMATION SHEET

Final Review _____ Unit # _____

Submittal Date _____ Review Date _____

Owner Name _____

Address _____

Phone _____

Contractor Name _____

Contact _____

Address _____

Phone _____

Please include information on the contractor if different than on the Preliminary Schematic Review Form.

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FINAL REVIEW SUBMITTAL FORM

Owner _____ Unit # _____ Phase _____

Submittal Date _____ Review Date _____

GENERAL

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Two (2) copies of construction documents with specifications submitted | Yes | No | N/A | N/S |
| b) Color Board | ☐ | ☐ | ☐ | ☐ |

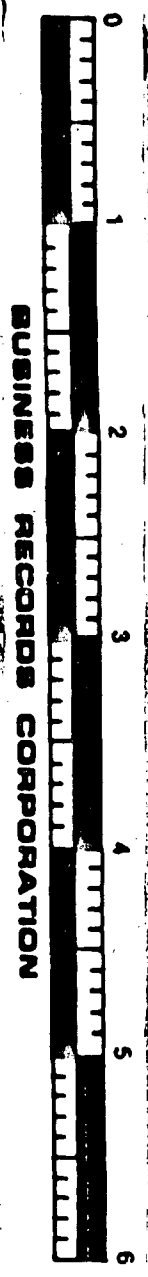
SITE PLAN

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|
| a) Site plan submitted with an easily legible scale with unit number and phase indicated | ☐ | ☐ | ☐ | ☐ |
| b) All unit criteria shown (property lines, setbacks, and build-to lines) | ☐ | ☐ | ☐ | ☐ |
| c) Structures placed on unit to meet criteria | ☐ | ☐ | ☐ | ☐ |
| d) Walks, driveways, decks, and patios shown with dimensions and materials indicated | ☐ | ☐ | ☐ | ☐ |
| e) Drives shown off of rear alley (where applicable) | ☐ | ☐ | ☐ | ☐ |
| f) Sidewalks shown and dimensioned at 4' wide in correct location on unit | ☐ | ☐ | ☐ | ☐ |
| g) Accessory structures located in proper areas on unit | ☐ | ☐ | ☐ | ☐ |
| h) Any fencing shown in correct location on unit and meets guideline requirements | ☐ | ☐ | ☐ | ☐ |
| i) Utilities point of attachment and equipment shown | ☐ | ☐ | ☐ | ☐ |
| j) Exterior lighting types and locations indicated | ☐ | ☐ | ☐ | ☐ |
| k) North arrow indicated | ☐ | ☐ | ☐ | ☐ |

APR 21 19 69

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FOUNDATION PLAN

- a) Foundation Plan submitted with an easily legible scale
- b) Foundation Elevations

☐	☐	☐	☐
--------------------------	--------------------------	--------------------------	--------------------------

Building types A and A1:

Finished floor must be 24" above center of roadway (minimum of three steps from sidewalk to finished floor of front porch). Excluding units 18-20 and 39-41 which follow regulation same as building types C.

Building types B:

Finished floor must be 24" above center of roadway (minimum of three steps from sidewalk to finished floor of front porch).

Building types C:

Finished floor elevation is not to exceed 4'6" above existing grade (4 to 6 steps from sidewalk to the finished floor of the front porch is required). Fill dirt is limited to 1' above existing grade.

Building types D:

Finished floor elevation is not to exceed 4'6" above existing grade (4 to 6 steps from sidewalk to the finished floor of the front porch is required). Fill dirt is limited to 1' above existing grade.

- c) Front porch, terrace, or stoop elevated a minimum of 16" above grade
- d) Foundation walls are finished consistently with architectural style
- e) Footing details shown

☐	☐	☐	☐	☐
☐	☐	☐	☐	☐

FLOOR PLAN

- a) Floor Plan submitted with an easily legible scale
- b) Windows and doors shown as related to elevations
- c) All decks and railings drawn, and materials indicated
- d) Total square footages indicated
- e) Do total square footages meet minimum requirement?
- f) All rooms labeled

☐	☐	☐	☐	☐	☐
☐	☐	☐	☐	☐	☐
☐	☐	☐	☐	☐	☐
☐	☐	☐	☐	☐	☐

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-

LANDSCAPE PLAN

-

COLOR BOARD

- a) **Sample board submitted with:**

Exterior wall material (actual sample)

Exterior wall color and all trim colors (limited to three)

Roofing material and color (actual sample)

Window color (manufacturer's color chip sample)

-

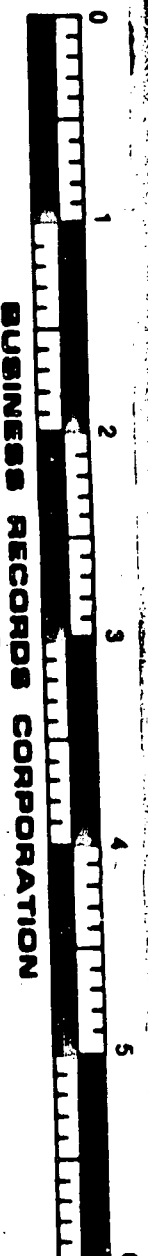
Comments _____

The following comments in each category need to be addressed:

Site Plan _____

Foundation Plan _____

Apt Bk 21 Pg 00 72



Floor Plan _____

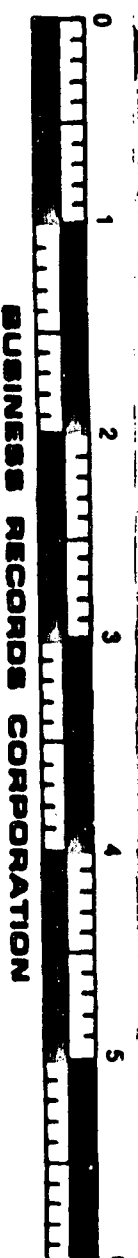
Elevations _____

Landscape Plans _____

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55

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Miscellaneous

~~Apr~~ Bk 21 99 74

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~~Instrument 568692 Page 63 of 69~~



BUSINESS RECORDS CORPORATION

The status of the submitted drawings is:

____ APPROVED

____ APPROVED AS CORRECTED

____ NOT APPROVED

____ REVISE AND RESUBMIT

By: _____
Blackwell Brooks Reid, Inc.

Date: _____

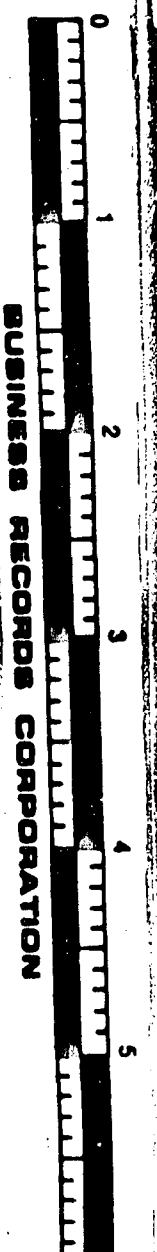
By: _____
The Commons

Date: _____

(Two signatures are required before the approval process is complete.)

APT Bk 21 Pg 75

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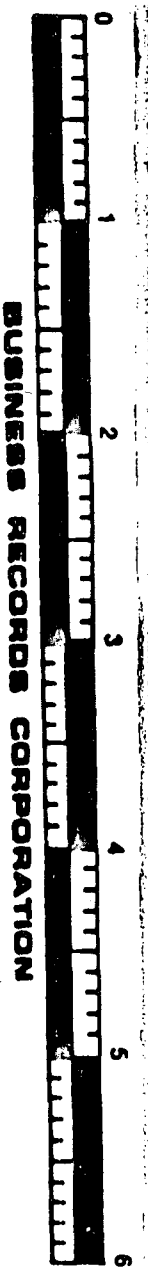


CONTRACTOR SIGNATURE SHEET

This document hereby verifies that _____, who is to build the
Contractor _____
structures approved for unit # _____ for _____, has read and
Owner(s) _____
understands all the architectural guidelines for construction in *The Commons* at Magnolia Springs, Alabama.
I, and all my company representatives and subcontractors, hereby agree to follow and uphold all
rules and regulations stated in the Architectural Guidelines Booklet.

Contractor _____ Date _____
Owner _____ Date _____

Adt BK 21 pg 76

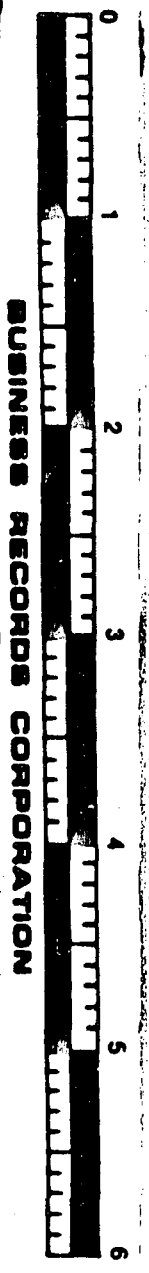


DISCLAIMER

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No person may rely on any verbal statement or representation of any party or agent of the developer, The Association, or the Architectural Review Committee, or any of their respective affiliates, members, directors, officers, employees or agents.

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DEFINITIONS

Accessory structure – a building or use associated with the principle structure but not under the same roof such as a garage, carport, etc.

Alley – a 10' aggregate road allowing primary means of access from the rear of the unit to garages, carports, and/or accessory structures

Vehicular entry to the property must be from the alley at the rear or side of each unit.

Architectural Review Committee – a board of reviewers provided for in the "Covenants, Conditions and Restrictions" and related documents, to ensure that the desired character of the residences and overall community are maintained

Available buildable area – the area between the two side setback lines, and the front build-to line and rear setback lines

Building type D – riverfront units that have alternate defined buildable areas
Unit 27 has a rear setback line of 10' from Magnolia River. For units 28-33, the rear setback line is 5' from the retaining wall. Unit 34 has a rear setback line of 40' on the waterside of the retaining wall.

Build-to line – the line located 10' from the front property line where the majority of the front porch must be built

Final Review – the second part of the Architectural Review Process to receive final approval, which is needed to begin construction

Finish floor – the point of measure where the actual floor is of the primary residence

Front yard fencing – fencing that runs along the street side property line that may extend to the rear of the front porch

Outbuilding – a building or use associated with the primary residence structure not under the same roof

Preliminary Review – the first part of the Architectural Review Process where the unit site plan and schematic elevations are submitted for review, which must be obtained before submittal of the Final Review

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BUSINESS RECORDS CORPORATION

Primary residence structure – the main building intended for residential use

Rear setback line – the line that is the minimum distance from the rear property line which establishes the area on which the principle structure or outbuildings must be built

Rear yard fencing – fencing that runs along the rear property line, down the side property lines and may extend to the rear of the front porch.

Retaining wall – the existing wall structure on the riverfront units

Review Process – a two-part process where the intended design of the residential project is reviewed by the Architectural Review Committee to ensure desired character and community standards and guidelines

Screened (as applied to carports) – open carports must have at least a semi opaque screen of approved materials, visually shielding contents from all streetscapes

Setback line – the line which is the minimum distance from the street, alley, or other line that establishes the area which the principle structure or outbuildings must be built

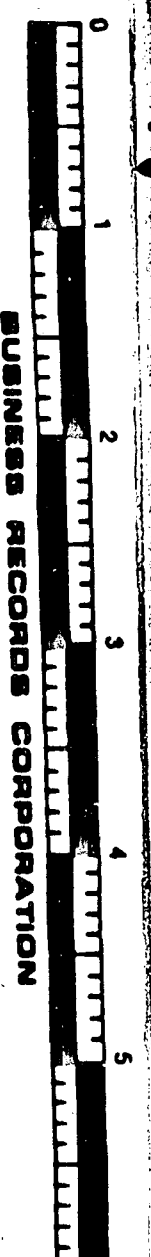
Side setback line – the line which is the minimum distance from the street, alley, or other line that establishes the area which the principle structure or outbuildings must be built

Structure – the main building or primary residence

THESE DEFINITIONS SUPPLEMENT, BUT DO NOT TAKE THE PLACE OF, THE DEFINITIONS IN *THE DECLARATION OF CONDOMINIUM OF THE COMMONS, A CONDOMINIUM*. IN THE EVENT OF ANY CONFLICT BETWEEN THE ABOVE DEFINITIONS AND THOSE IN THE DECLARATION, OR ANY CONFLICT BETWEEN ANY OF THE PROVISIONS OF THESE GUIDELINES AND THE DECLARATION, THE PROVISIONS OF THE DECLARATION SHALL GOVERN.

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